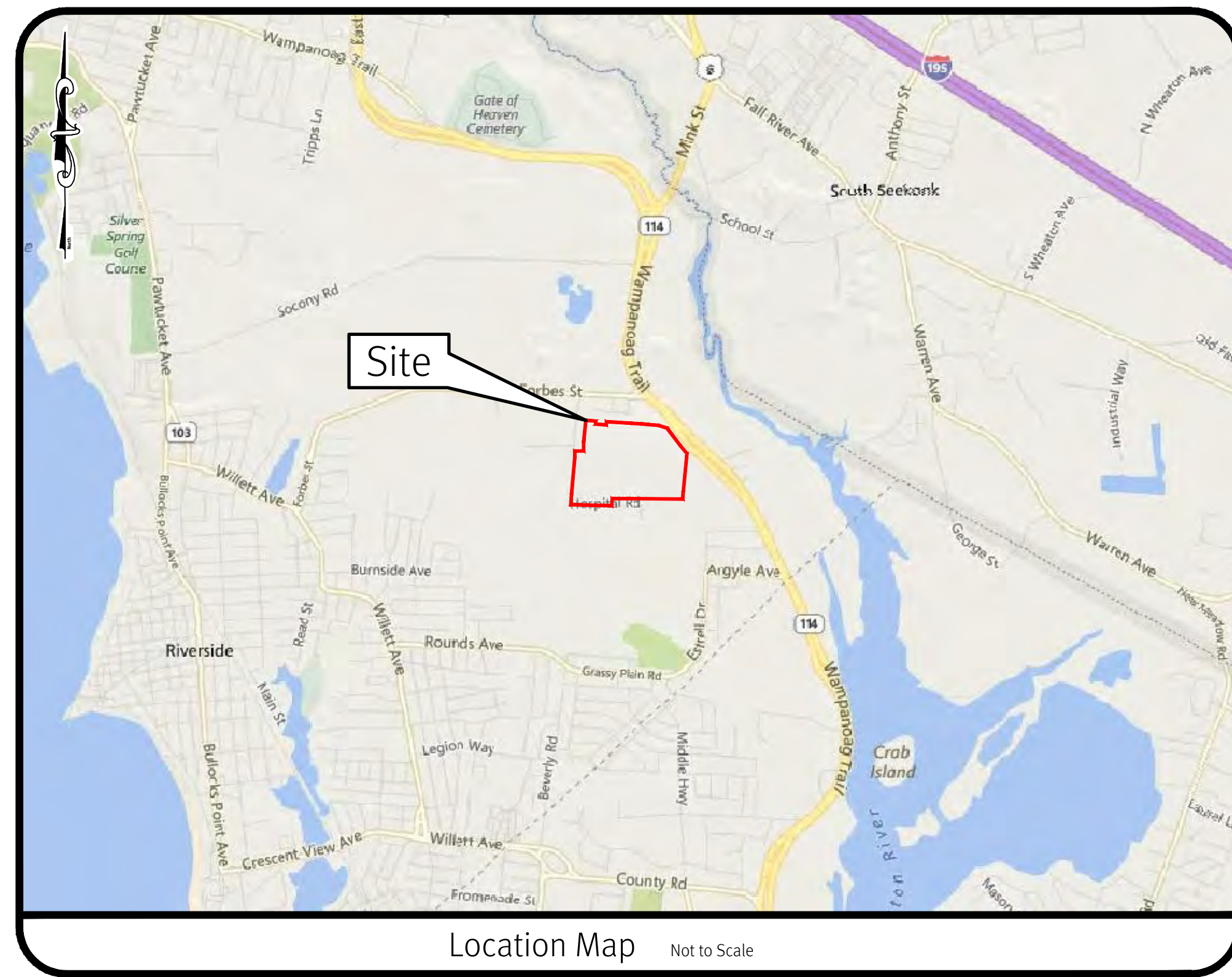


Preliminary Plan - Response To Comments

Wampanoag Meadows

1279 Wampanoag Trail
East Providence, Rhode Island

Assessor's Plat 711, Block 3, Lot 15



Location Map Not to Scale

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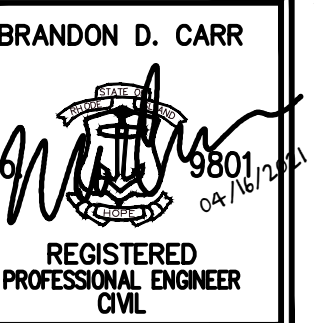
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SESC / O&M
The Soil Erosion and Sediment Control Plan (SESC) and Stormwater Operation and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner on site.

RIDOT
The Proposed Improvements Will Not Increase the Rate of Stormwater Runoff Onto the State Highway. All Work Within the State Right of Way Must Conform to the RI Standard Specifications, Details, and Addendums.



APPROVED BY
ADMINISTRATIVE OFFICER
ZONING OFFICER
SURVEYOR'S CERTIFICATION

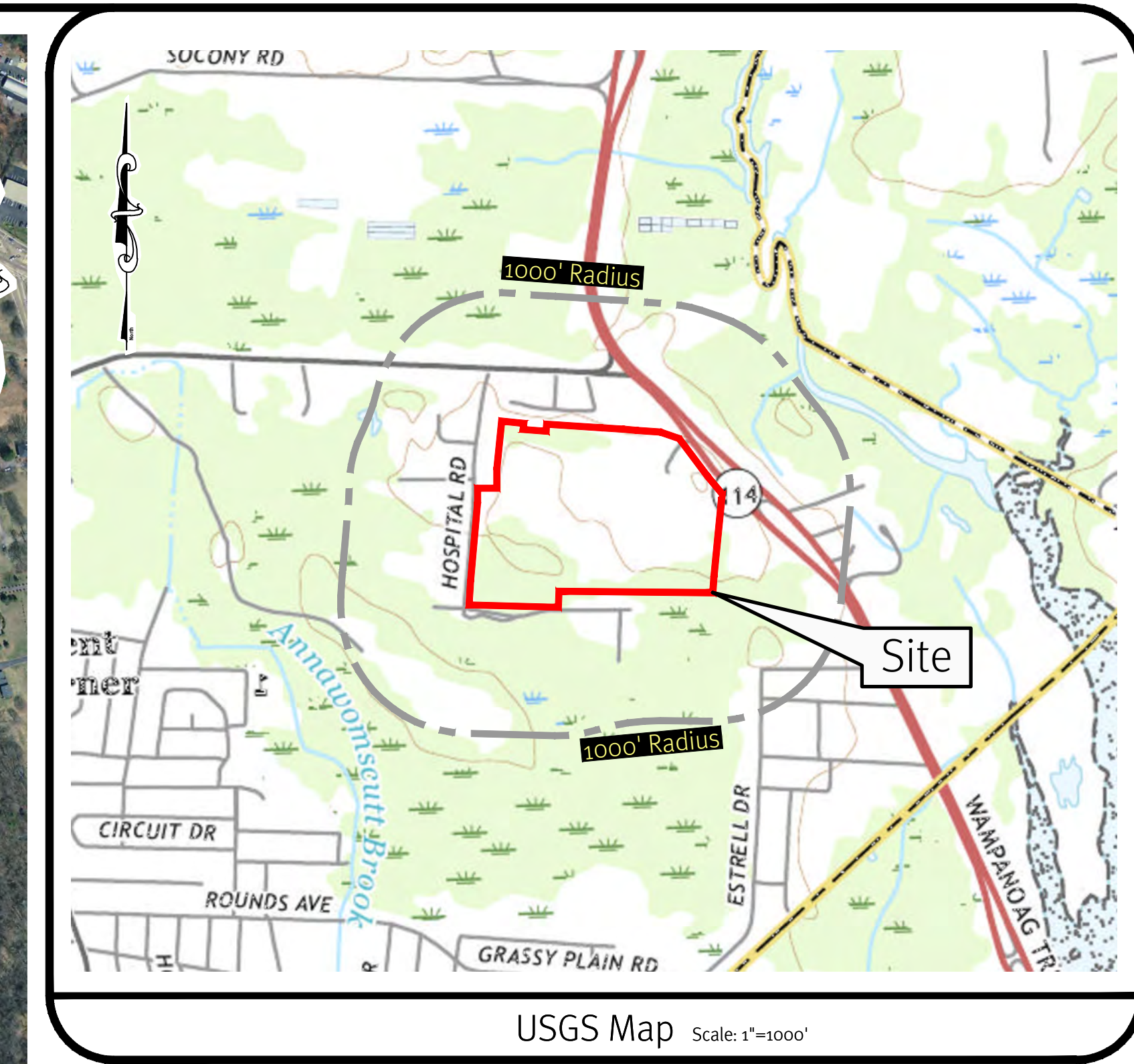
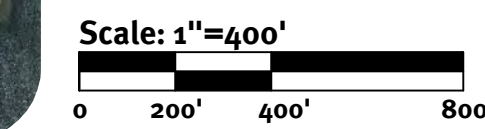
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No.	Date	Description	By	Design By: A.S.M.
4	04/16/2021	Preliminary Plan - Response to Comments	ASM	
3	03/03/2021	RIDOT Review Comments	ASM	
2	02/22/2021	RIDOT Review Comments	ASM	
1	02/02/2021	RIDOT Submission	ASM	
0	02/02/2021	RIDOT Submission	ASM	

Z:\Main\Projects\1851-001_wampanoag trail\aircadd drawings\1851-001_cad.dwg Plotted: 4/16/2021



Photo Obtained from RIGIS 2014 database.



Legend:

- PROPERTY LINE
- HALF MILE RADIUS LINE
- STATE LINE
- 1000' RADIUS LINE



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BRANDON D. CARR

 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

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 See Utility Note on sheet 3.

NO.	DATE	DESCRIPTION	DESIGN BY: A.S.M.
4	04/16/2021	Preliminary Plan - Response to Comments	ASW
3	03/03/2021	80% Submission to Comments	ASW
2	02/02/2021	60% Submission to Comments	ASW
1	02/02/2021	30% Submission	ASW
0	02/02/2021	10% Submission	ASW
1/2			Dpr

Drawn By: A.S.M. Design By: A.S.M.

Aerial Half Mile Radius
Wampanoag Meadows
 Assessors Map 4th Block 10
 1270 Wampanoag Trail, East Providence, Rhode Island 02903
 Prepared For:
Driscoll Development, LLC
 940 Quaker Lane
 Warwick, RI 02818

DE JOB No: 1851-001 Copyright 2021 by DiPrete Engineering Associates, Inc.

General Notes:

- THE SITE IS LOCATED ON THE CITY OF EAST PROVIDENCE, RHODE ISLAND ASSESSOR'S PLAT 711 BLOCK 3 LOT 15.
- THE SITE IS APPROXIMATELY 53.2± ACRES AND IS ZONED C1.
- THE OWNER OF PLAT 711 BLOCK 3 LOT 15 IS: DRISCOLL DEVELOPMENT, LLC, 940 QUAKER LANE, WARWICK, RI 02818
- THIS SITE IS LOCATED IN FEMA FLOOD ZONE X (UNSHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAP 44007C0339G, MAP REVISED 02 MARCH, 2009. (FLOOD PLAIN DESCRIPTIONS SHOWN BELOW)
ZONE X (UNSHADED) – THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS WHERE THERE IS MINIMAL FLOODING.
- THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.
- CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
- ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, CITY OF EAST PROVIDENCE STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
• SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
EROSION CONTROL MEASURES
SHORT TERM MAINTENANCE
ESTABLISHMENT OF VEGETATIVE COVER
CONSTRUCTION POLLUTION PREVENTION
SEQUENCE OF CONSTRUCTION
• STORMWATER OPERATION AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS:
LONG TERM MAINTENANCE
LONG TERM POLLUTION PREVENTION
- THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP
- THE SITE IS TO BE SERVED BY PUBLIC WATER AND PUBLIC SEWER.
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE CITY OF EAST PROVIDENCE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS, AND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
- BORINGS WERE PERFORMED BY GZA BETWEEN 3/15/01 AND 3/19/01 AND BETWEEN 09/20/01 AND 09/21/01; TEST PITS WERE PERFORMED BY GZA BETWEEN 3/12/01 AND 3/14/01, AND BETWEEN 9/19/01 AND 9/20/01
- ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE IT PROPOSES TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/ DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/ OR THEIR ASSOCIATED SPECIFICATIONS, ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATION/ SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/ DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/ DETAIL BY OTHERS OR ITS DESIGN.

Soil Information:

(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)
SOIL NAME DESCRIPTION

MmA	MERRIMAC SANDY LOAM, 0 TO 3 PERCENT SLOPES
MmB	MERRIMAC SANDY LOAM, 3 TO 8 PERCENT SLOPES URBAN LAND COMPLEX
Pg	PITS, GRAVEL
SS	SUDBURY SANDY LOAM

RIDOT Notes:

- ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RHODE ISLAND STANDARD DETAILS DATED JUNE 21, 2019 WITH ALL REVISIONS.
- CONTRACTOR MUST OBTAIN A UTILITY CONNECTION PERMIT FOR WORK WITHIN THE STATE ROW PRIOR TO CONSTRUCTION. THE PAPA IS NOT A SUBSTITUTE FOR THE UTILITY PERMIT AND THE PAPA DOES NOT CONSTITUTE AN APPROVAL OF ANY UTILITY WORK.
- ALL TRAFFIC CONTROL MUST CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, INCLUDING ALL REVISIONS.
- NO LANE OR SHOULDER CLOSURES ARE TO BE PERFORMED WITHIN THE STATE'S RIGHT OF WAY DURING PEAK TRAFFIC HOURS.
- SEWER AND WATER CONNECTIONS WITHIN THE STATE RIGHT OF WAY WILL REQUIRE A SEPARATE RIDOT UTILITY PERMIT. CONTRACTOR TO OBTAIN BEFORE CONSTRUCTION.
- THE DRAINAGE SYSTEM IS DESIGNED TO DECREASE BOTH STORMWATER RUNOFF RATE DISCHARGE, AND STORMWATER RUNOFF VOLUME TO THE STATE RIGHT OF WAY FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT. THERE WILL BE NO INCREASE IN RUNOFF TO THE STATE RIGHT OF WAY FROM THE PROPOSED DEVELOPMENT.
- WORK WITHIN THE STATE'S ROW WILL CONFORM TO PROWAG. WORK ONSITE WILL CONFORM TO ADAAG.

Soil Erosion and Sedimentation Control Notes:

- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE CITY ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL EROSION CONTROL TO BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL (RISESC) HANDBOOK AND THE SOIL EROSION & SEDIMENTATION CONTROL PLAN(S). NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/ TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVES OF THE RISESC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISESC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE 1 ABOVE, SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/ OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
- INLET PROTECTION IS TO BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
- FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
- CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.
- IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.

Demolition Notes:

- CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
- ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN WHICH ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HERE IN. R&D MATERIALS MUST INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
- IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
- CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
- ALL EXISTING STRUCTURES AND REMAINS OF EXISTING STRUCTURES TO BE DEMOLISHED, REMOVED & DISPOSED OF. AGGREGATE & CAST CONCRETE ELEMENTS MAY BE REUSED AS FILL WITH A MINIMUM OF 2' OF CLEAN FILL COVER

Traffic Notes:

- ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
- DURING CONSTRUCTION, TRAFFIC CONES ARE TO BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
- DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
- ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD) LATEST EDITION AND SUBSEQUENT ADDENDA.
- TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON RIDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

Americans with Disabilities Act Notes:

- ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE (CURRENT EDITION).
- MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
- ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
- A MINIMUM 5'x5' LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/ EGRESSES. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
- FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
- NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
- NOTE THAT THE GRADING/ PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/ CONTROLLING STANDARDS. IN THE EVENT OF ANY NON COMPLIANCE THE CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

Grading and Utility Notes:

- CONSTRUCTION TO COMMENCE WINTER 2020 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURE.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION.
- ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
- ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
- NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERTNIGHT.
- ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
- ALL EXCESS SOIL, TREES, ROCKS, Boulders, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS MUST BE GROUND ON SITE OR REMOVED & DISCARDED OFFSITE.
- THE SITE WILL HAVE 3" BITUMINOUS BERM AND/OR 6" CONCRETE/GRANITE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE BERM/CURBING REVEAL. CONTRACTOR TO INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.

DRAINAGE

ALL DRAINAGE PIPING TO BE HIGH-DENSITY POLYETHYLENE (HDPE) WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL STORMWATER PIPE WITHIN THE STATE'S RIGHT OF WAY TO BE REINFORCED CONCRETE PIPE (RCP) PIPE.

DRAINAGE STRUCTURES TO BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):

- CATCH BASINS ALONG CURBING TO BE RIDOT STD. 4.4.0, TYPE F FRAME, 4' DIAMETER WITH APRON STONE.
- CATCH BASINS NOT ALONG CURBING TO BE RIDOT STD 4.4.0, 4' DIAMETER CATCH BASINS TO HAVE 3' SUMPS WITHOUT WEEPHOLES.
- SINGLE FRAME CATCHBASIN GRATES TO BE RIDOT STD. 6.3.2
- DOUBLE FRAME CATCHBASIN GRATES TO BE RIDOT STD. 6.3.2
- MANHOLES TO BE RIDOT STD. 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED
- DRAINAGE MANHOLE COVERS TO BE RIDOT STD 6.2.1
- DROP INLETS TO BE RIDOT STD. 4.5.0, 4.5.1 OR 4.5.2.
- APRON STONE, WHERE REQUIRED, TO BE RIDOT STD 7.1.7 OR 7.1.8.

ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT.

DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS & PIPE SLOPES TO TIE INTO MAIN TRUNK LINE TO BE FIELD FIT BY CONTRACTOR.

SANITARY SEWER

ALL SANITARY SEWER PIPING TO BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE NARRAGANSETT BAY COMMISSION RULES AND REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

WATER

ALL WATER MAINS TO BE CONCRETE LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH THE EAST PROVIDENCE WATER REGULATIONS AND THE EAST PROVIDENCE WATER UTILITIES, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEATED ENCLOSURES, AND BACKFLOWS. ALL COMPONENTS OF THE WATER SYSTEM TO BE ASBUILT PER PROVIDENCE WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM TO BE INSPECTED BY EAST PROVIDENCE WATER. CONTRACTOR TO COORDINATE ALL IMPROVEMENTS WITH EAST PROVIDENCE WATER TO ENSURE INSPECTOR IS ON SITE.

ELECTRIC/TELECOM/GAS

PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER & CONTRACTOR TO COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK TO BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO, POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASEMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND WILL BE COORDINATED WITH NATIONAL GRID PRIOR TO CONSTRUCTION.

SITE LIGHTING

SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ABUTTING LANDS. EXACT LOCATIONS OF LIGHT POLES TO BE COORDINATED WITH OTHER UTILITIES AND TO BE LOCATED WITHIN THE STREET RIGHTS OF WAY. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

Layout and Materials:

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- SIDEWALK TO BE MONOLITHIC CONCRETE OR ASPHALT AS INDICATED ON THE PLANS – CURBING TO BE MONOLITHIC CONCRETE WHERE ADJACENT TO SIDEWALK, OTHERWISE TO BE BITUMINOUS BERM.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDINGS, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNER'S. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- DISTURBANCES OF ADJACENT PROPERTY ACCESS DRIVEWAYS CONNECTING TO RI-114 FOR THE PURPOSES OF EXTENDING THE CITY OF EAST PROVIDENCE'S WATER LINE WITHIN THE RIDOT ROW MUST BE REPLACED IN KIND, WITH PAVEMENT COMPACTION AND CONSTRUCTION MUST MEET RIDOT SPECIFICATIONS

Abbreviations Legend

ADA	AMERICANS WITH DISABILITY ACT	OHW	OVERHEAD WIRE
AHJ	AUTHORITY HAVING JURISDICTION	PE	POLYETHYLENE
AP	ASSESSOR'S PLAT	P	PROPERTY LINE
BC	BOTTOM OF CURB	PR	PROPOSED
BT	BOTTOM OF TESTHOLE	PVC	POLYVINYL CHLORIDE
BIT	BITUMINOUS (BERM)	R	RADIUS
BIO	BIORETENTION	R&D	REMOVE AND DISPOSE
BS	BASEMENT SLAB ELEVATION	RCP	REINFORCED CONCRETE PIPE
BW	FINISHED GRADE AT BOTTOM OF WALL	RIBH	RHODE ISLAND
CB	CATCH BASIN	RIBW	HIGHWAY BOUND
(C)	CALCULATED	RL	RIGHT LEADER
€	CENTERLINE	ROW	RIGHT OF WAY
(CA)	CHORD ANGLE	S	SLOPE
CLDIP	CONCRETE LINED DUCTILE IRON PIPE	SD	SUBDRAIN
CO	CLEAN OUT	SED	SEDIMENT FOREBAY
CONC	CONCRETE	SF	SQUARE FOOT
(D)	DEED	SFL	STATE FREEWAY LINE
DCB	DOUBLE CATCH BASIN	SFM	SEWER FORCE MAIN
DI	DROP INLET	SG	SLAB ON GRADE ELEVATION
DMH	DRAINAGE MANHOLE	SHL	STATE HIGHWAY LINE
DP	DETENTION POND	SMH	SEWER MANHOLE
ELEV	ELEVATION	SNDF	SAND FILTER
EOP	EDGE OF PAVEMENT	SS	SIDE SLOPE
ESC	EROSION AND SEDIMENT CONTROL	STA	STATION
EX	EXISTING	TC	TOP OF CURB
FES	FLARED END SECTION	TD	TRENCH DRAIN
FFE	FINISH FLOOR ELEVATION	TF	TOP OF FOUNDATION
GS	GARAGE SLAB ELEVATION	TRANS	TRANSITION
GW	GROUND WATER TABLE	TW	TOP OF WALL (FINISHED)
HW	HEADWALL		GRADE AT TOP OF WALL)
HC	HIGH CAPACITY CATCH BASIN GRATE	TYP	TYPICAL
HOPE	HIGH DENSITY POLYETHYLENE	UDS	UNDERGROUND
ID	INLINE DRAIN	UIS	DETENTION SYSTEM
INV	INVERT	UIS	UNDERGROUND
IP	INFILTRATION POND		INFILTRATION SYSTEM
LF	LINEAR FEET	UP	UTILITY POLE
LOD	LOAD OF DISTURBANCE	WQ	WALKOUT ELEVATION
LP	LIGHT POLE	WQ	WATER QUALITY
(M)	MEASURED		
N/F	NOW OR FORMERLY		

Existing Legend

(AS SHOWN ON PROPOSED PLANS)
NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE		NAIL FOUND/SET
	ASSESSORS LINE		DRILL HOLE FOUND/SET
	BUILDING		BOUND FOUND/SET
	BRUSHLINE		SIGN
	TREE LINE		BOLLARD
	GUARDRAIL		SOIL EVALUATION
	FENCE		CATCH BASIN
	RETAINING WALL		DOUBLE CATCH BASIN
	STONE WALL		DRAINAGE MANHOLE
	MINOR CONTOUR LINE		FLARED END SECTION
	MAJOR CONTOUR LINE		GULLY POLE
	WATER LINE		ELECTRIC MANHOLE
	SEWER LINE		UTILITY/POWER POLE
	SEWER FORCE MAIN		LIGHTPOST
	GAS LINE		SEWER/SEPTIC MANHOLE
	ELECTRIC LINE		SEWER VALVE
	OVERHEAD WIRES		CLEANOUT
	DRAINAGE LINE		HYDRANT
	SOILS LINES		IRRIGATION VALVE
	50' PERIMETER WETLAND		WATER VALVE
	100' RIVERBANK WETLAND		WELL
	200' RIVERBANK WETLAND		MONITORING WELL
	FEMA BOUNDARY		UNKNOWN MANHOLE
	STREAM		GAS VALVE
	WETLAND LINE & FLAG		BENCH MARK
	STATE HIGHWAY LINE		STREAM FLOW DIRECTION
	STATE FREEWAY LINE		

Proposed Legend

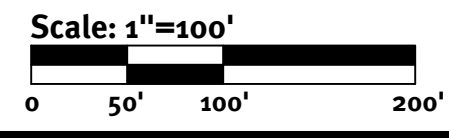
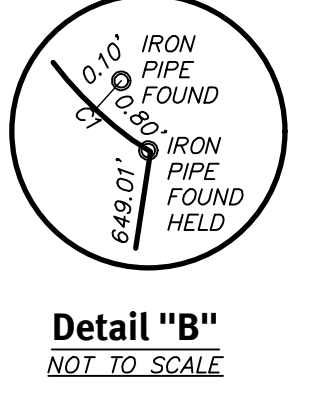
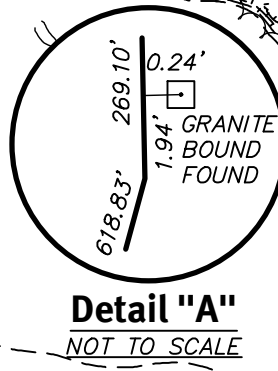
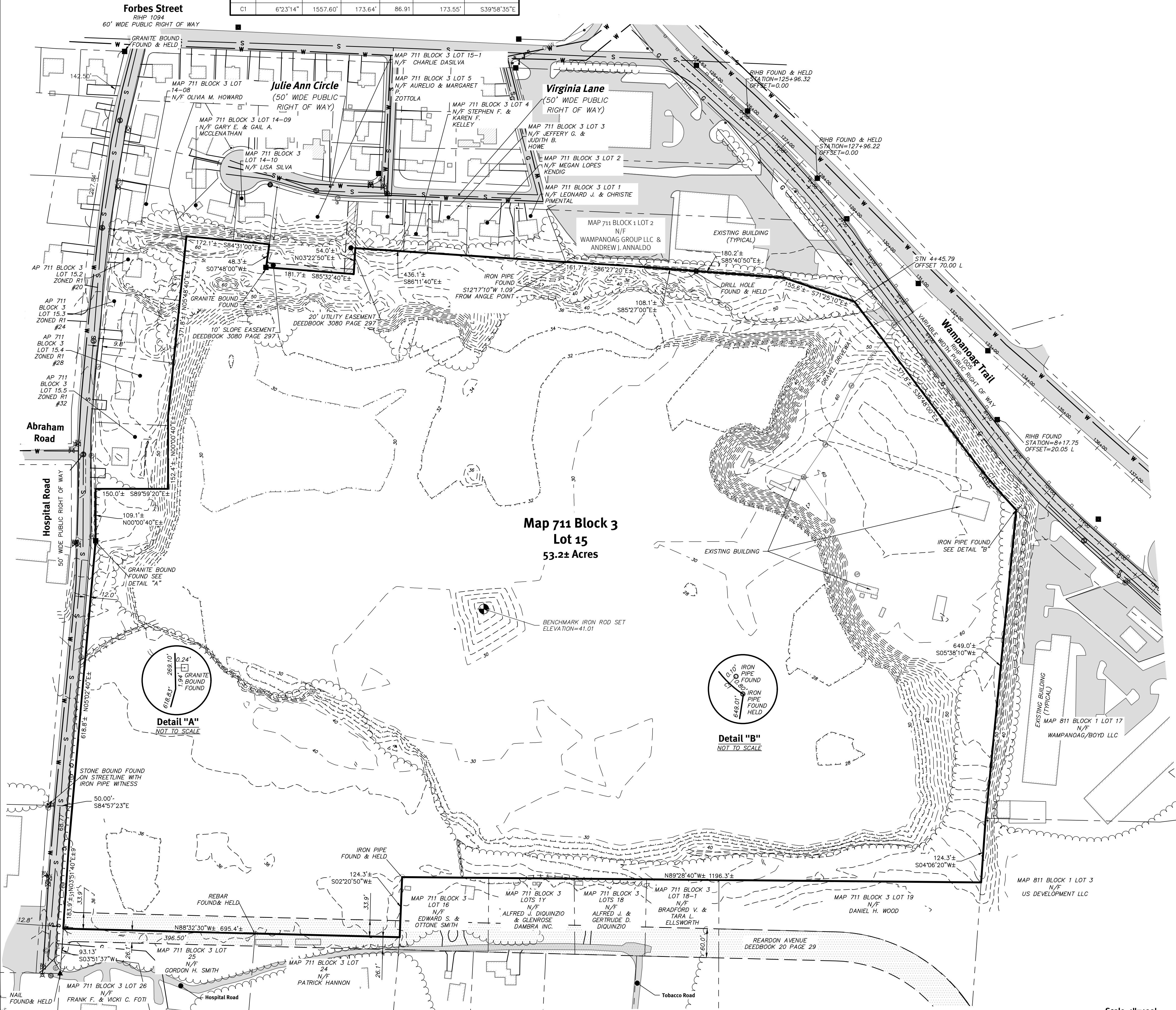
NOT ALL ITEMS SHOWN WILL

	PROPERTY LINE		DRAINAGE LINE
	BUILDING SETBACKS		PERFORATED SUBDRAIN
	CHAIN LINK FENCE		SWALE
	GUARDRAIL		SEWER FORCE MAIN
	RETAINING WALL		GAS LINE
	MINOR CONTOUR LINE		WATER LINE
	MAJOR CONTOUR LINE		HYDRANT ASSEMBLY
	SPOT ELEVATION		WATER SHUT OFF
	EDGE OF PAVEMENT		WATER VALVE
	BITUMINOUS BERM		THRUST BLOCK
	CONCRETE CURB (RIDOT STD 7.1.0)		SEWER LINE
	BUILDING FOOTPRINT		OVERHEAD WIRE
	BUILDING OVERHANG		ELECTRIC, TELEPHONE, CABLE LINE
	ASPHALT PAVEMENT		TRANSFORMER PAD WITH BOLLARDS (PER NATIONAL GRID STANDARD)
	HEAVY DUTY ASPHALT PAVEMENT		LIMIT OF DISTURBANCE/ LIMIT OF CLEARING
	HEAVY DUTY CONCRETE		SEDIMENTATION BARRIER, SILT FENCE (RIDOT STD 9.2.0), COMPOST SOCK OR APPROVED EQUAL
	CONCRETE		SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPES)
	ASPHALT SIDEWALK		RIPRAP
	SAWCUT		CATCH BASIN
	SIGN (RIDOT STD 24.6.2 AS APPLICABLE)		DOUBLE CATCH BASIN
	SINGLE LIGHT		MANHOLE
	DOUBLE LIGHT		FLARED END SECTION
	OVERHANGING LIGHT		HEADWALL
	ACCESSIBLE PARKING SPACE SYMBOLS		
	BUILDING INGRESS/EGRESS		

Utility Note:

ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD LENGTH	CHORD BEARING
C1	6°23'14"	1557.60'	173.64'	86.91'	173.55'	S39°58'35"E



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 CIVIL

APPROVED BY
 ADMINISTRATIVE OFFICER
 ZONING OFFICER
 SURVEYOR'S CERTIFICATION

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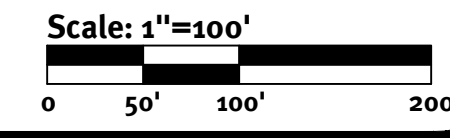
Overall Existing Conditions Plan
Wampanoag Meadows
 1270 Wampanoag Trail, East Providence, Rhode Island 02903
 Prepared For: **Driscoll Development, LLC**
 940 Quaker Lane
 Warwick, RI 02888
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- Soil Erosion Control Legend:**
- EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0) OR APPROVED EQUAL)
 - LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
 - CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
 - INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)
 - FINAL CONTOUR GRADE
 - INLET SEDIMENT CONTROL



Note: This Plan Must Be Reproduced In Color

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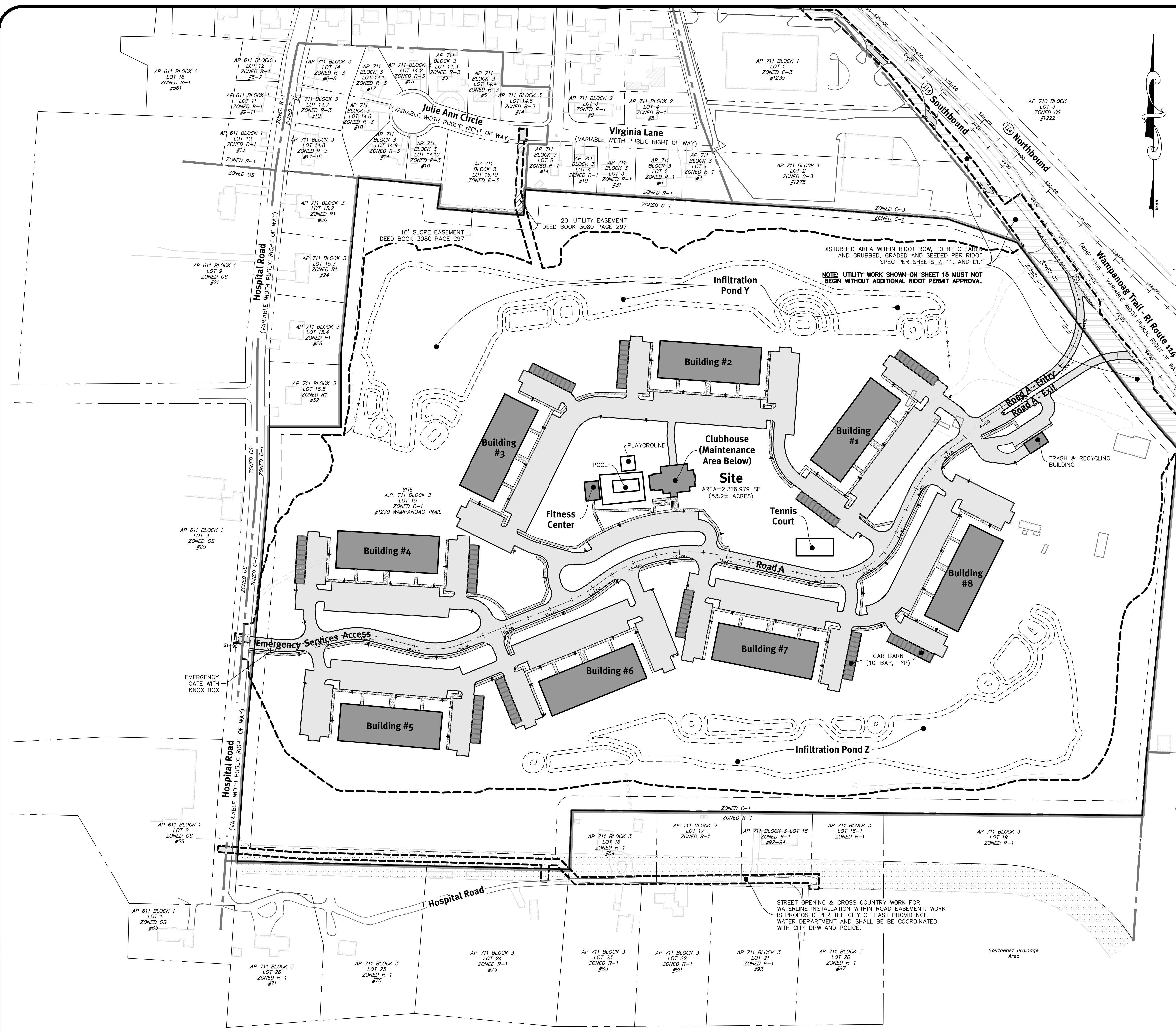
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94	07/02/2021	REVISIONS TO PRELIMINARY PLAN	ASM
95	07/02/2021	REVISIONS TO PRELIMINARY PLAN	ASM
96	07/02/2021	REVISIONS TO PRELIMINARY PLAN	ASM
97	07/02/2021	REVISIONS TO PRELIMINARY PLAN	ASM
98	07/02/2021	REVISIONS TO PRELIMINARY PLAN	ASM
99	07/02/2021	REVISIONS TO PRELIMINARY PLAN	ASM
100	07/02/2021	REVISIONS TO PRELIMINARY PLAN	ASM

SSEC Plan
Wampanoag Meadows
 Assessors Map of the Blocks 1 to 3
 1279 Wampanoag Trail, East Providence, Rhode Island 02903
 Prepared for: **Driscoll Development, LLC**
 940 Quaker Lane
 Warwick, RI 02888
 DE JOB NO. 1851-001. Copyright 2021 by DiPrete Engineering Associates, Inc.

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Development Data:

TOTAL SITE AREA:	53.20 ACRES
TOTAL NUMBER OF 1 BEDROOM APARTMENT UNITS:	224 UNITS
TOTAL NUMBER OF 2 BEDROOM APARTMENT UNITS:	192 UNITS
GRAND TOTAL APARTMENT UNITS:	416 UNITS
DENSITY OF APARTMENT UNITS:	7.82 UNITS PER ACRE

Dimensional Regulations:

ZONING EXISTING:	REQUIRED:	PROVIDED:
MINIMUM LOT AREA:	COMMERCIAL 1 10,000 SF	COMMERCIAL 1 2,316,979 SF (53.2 AC)
MINIMUM FRONTAGE/LOT WIDTH:	100'	544'
MINIMUM FRONT YARD:	20'	106'
MINIMUM SIDE YARD:	15'	163'
MINIMUM REAR YARD:	25'	265'
MAXIMUM BUILDING COVERAGE:	35% (18.62 AC.)	6% (3.64 AC.)
MAXIMUM IMPERMEABLE COVERAGE:	55% (29.26 AC.)	21.3% (11.71 AC.)
MAXIMUM HEIGHT:	57.5'	57.5'
MAXIMUM STORIES:	4	4
USABLE LOT AREA***:	18.9 AC.	46.7 AC.

*FRONT, SIDE, AND REAR YARD SETBACKS INCREASED 5 FEET PER ZONING SECTION 19-217-A
 **INCREASED HEIGHT AND STORIES APPROVED BY EAST PROVIDENCE ZONING BOARD ON SEPTEMBER 21, 2020
 ***SCHEDULE FOR MULTIFAMILY DWELLING USABLE LOT AREA BASED ON ZONING SECTION 19-218.

Parking Data

PARKING DIMENSIONS:	9' X 18'
PROPOSED 1&2 BEDROOM UNITS:	416
REQUIRED PARKING:	2 SPACES PER DWELLING UNIT PLUS ONE SPACE FOR EACH BEDROOM IN EXCESS OF 2 BEDROOMS
PROPOSED APARTMENTS:	832 SPACES
REQUIRED SPACES:	17 SPACES
REQUIRED ACCESSIBLE SPACES:	(2% OF TOTAL SPACES FOR 501-1000)
PROPOSED SURFACE SPACES:	722 SPACES
PROPOSED ACCESSIBLE SPACES:	17 SPACES
PROPOSED GARAGE SPACES:	110 SPACES
TOTAL PROPOSED SPACES:	832 SPACES
PROPOSED CLUBHOUSE:	5,000 SF
REQUIRED PARKING - COMMERCIAL RECREATION:	ONE SPACE FOR EACH 200 SF GFA
REQUIRED SPACES:	25 SPACES
REQUIRED ACCESSIBLE SPACES:	1 SPACE
PROPOSED STANDARD SPACES:	24 SPACES
PROPOSED ACCESSIBLE SPACES:	1 SPACES
TOTAL PROPOSED SPACES:	25 SPACES

NOTE: UTILITY WORK SHOWN ON SHEET 15 MUST NOT BEGIN WITHOUT ADDITIONAL RIDOT PERMIT APPROVAL

DISTURBED AREA WITHIN RIDOT ROW, TO BE CLEARED AND GRUBBED, GRADED AND SEEDED PER RIDOT SPEC PER SHEETS 7, 11, AND L1.1

TRASH & RECYCLING BUILDING

CAR BARN (10-BAY, TYP)

Emergency Services Access

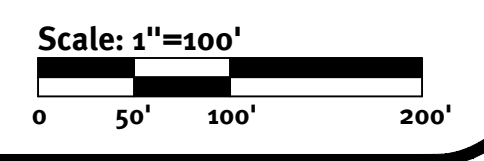
EMERGENCY GATE WITH KNOX BOX

SEVENTH DRAINAGE AREA

No.	Date	Description	Design By: A.S.M.
1	02/09/2020	PRELIMINARY PLAN - RESPONSE TO COMMENTS	AS/M
2	03/03/2021	PROVIDE PLAN COMMENTS	AS/M
3	07/29/2020	RIDOT SUBMISSION	AS/M
4	02/09/2020	REDESIGN SUBMISSION	Dr.

Drawn By: A.S.M.

STREET OPENING & CROSS COUNTRY WORK FOR WATERLINE INSTALLATION WITHIN ROAD EASEMENT, WORK IS PROPOSED PER THE CITY OF EAST PROVIDENCE WATER DEPARTMENT AND SHALL BE COORDINATED WITH CITY DPW AND POLICE.



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 Tel: 401-943-1000 Fax: 401-644-6006 www.diprete-eng.com

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BRANDON D. CARR
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

APPROVED BY:
 ADMINISTRATIVE OFFICER
 ZONING OFFICER
 SURVEYOR'S CERTIFICATION

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 Engineering, DiPrete Engineering does not warrant plans by any other party.
 The contractor is responsible for all of the means, methods, safety and implementation of this plan and design.
 Engineering, DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

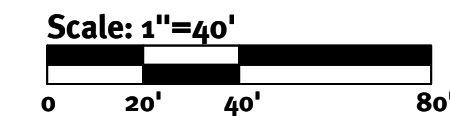
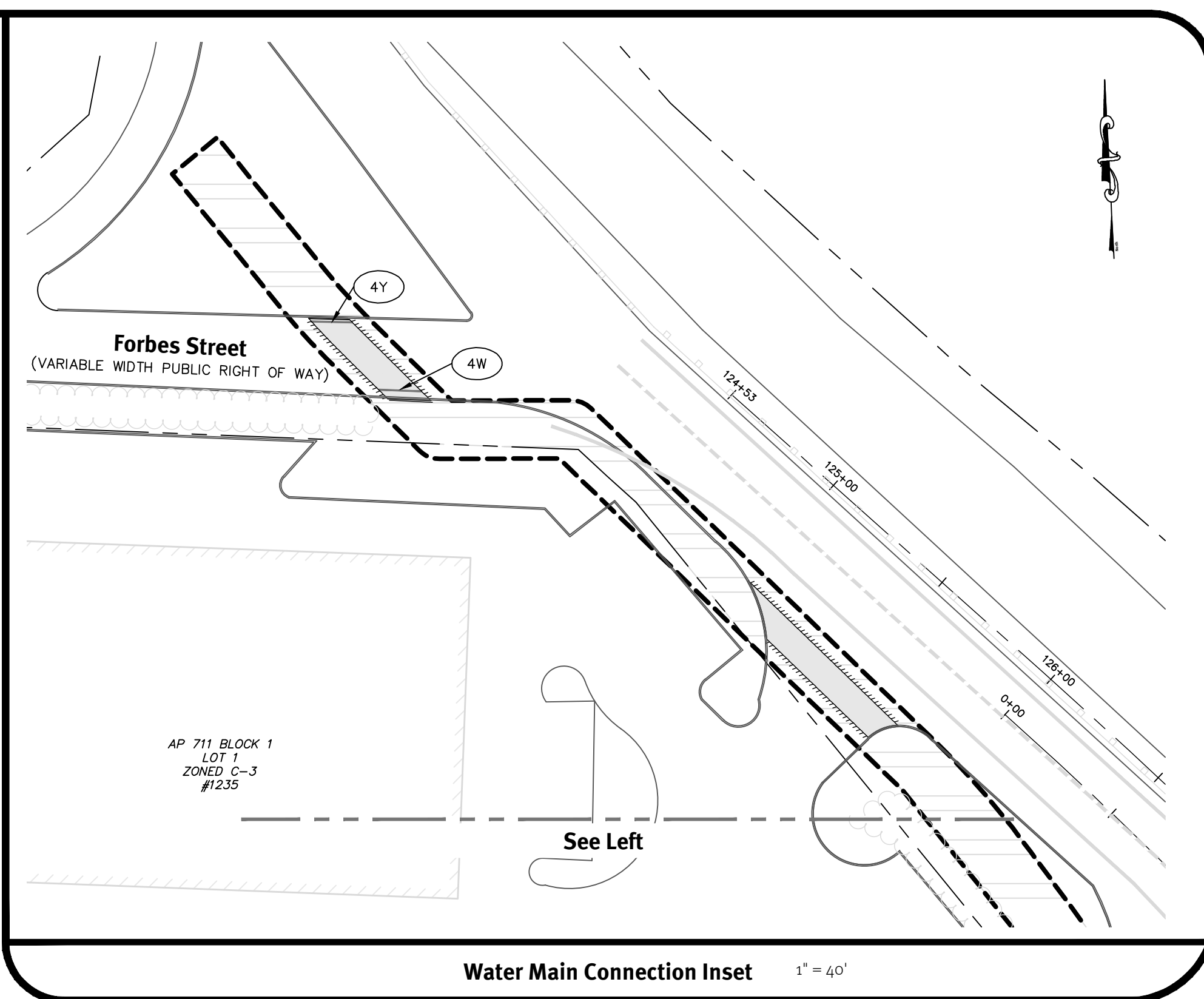
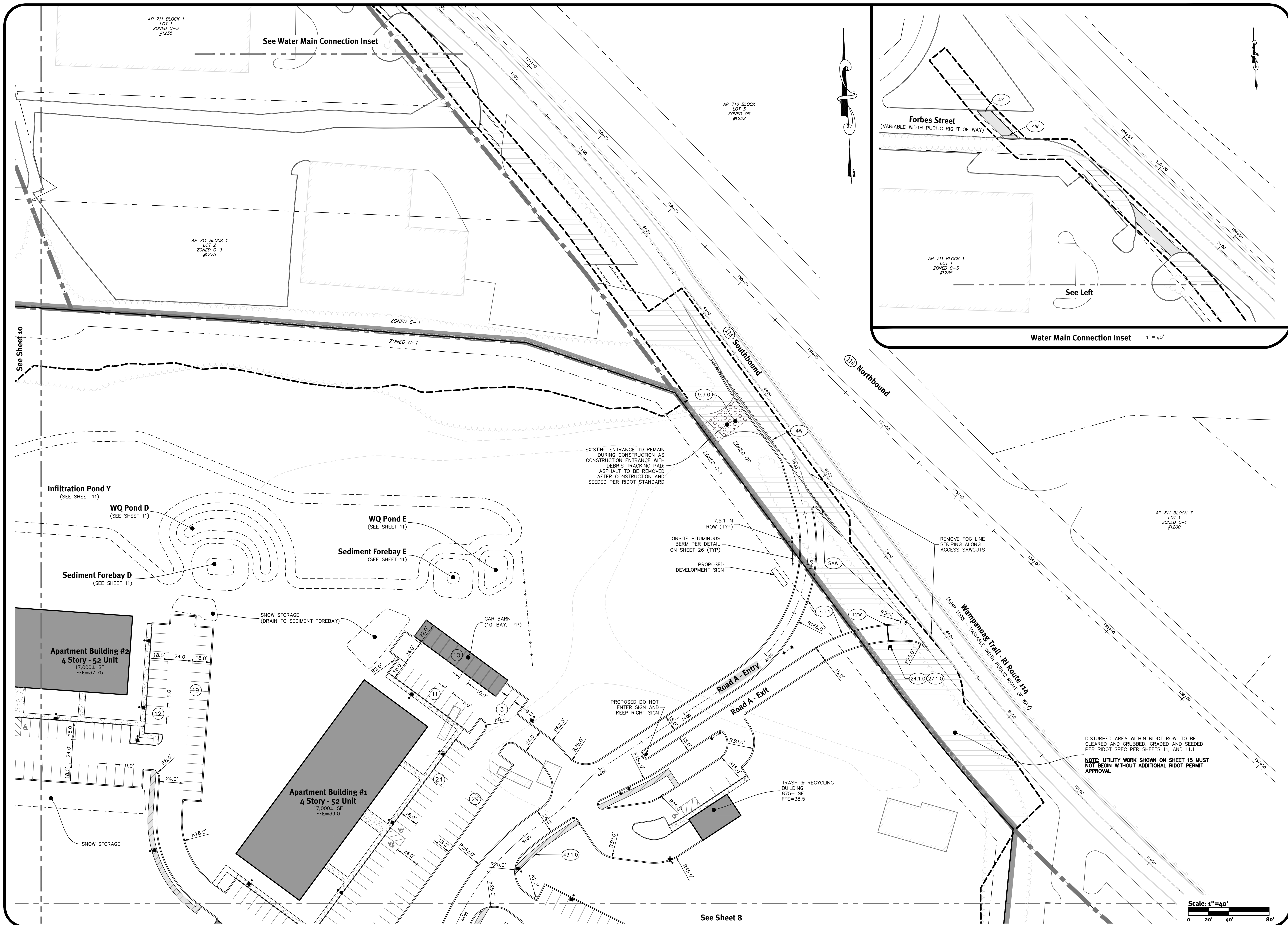
No.	Date	Description	Design By: A.S.M.
1	02/09/2020	PRELIMINARY PLAN - RESPONSE TO COMMENTS	AS/M
2	03/03/2021	PROVIDE PLAN COMMENTS	AS/M
3	07/29/2020	RIDOT SUBMISSION	AS/M
4	02/09/2020	REDESIGN SUBMISSION	Dr.

Drawn By: A.S.M.

Overall Site Plan
Wampanoag Meadows
 Assessors Map: 7th Block 3, Lots 1-20
 1279 Wampanoag Trail, East Providence, Rhode Island 02903
 Prepared For: **Driscoll Development, LLC**
 940 Quaker Lane
 Warwick, RI 02888

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ZONING OFFICER
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 The contractor is responsible for all of the means, methods, safety and quality of the work shown on this plan and to obtain all necessary permits and approvals from the appropriate authorities.
 Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

Rev.	Date	Description	Drawn By	Checked By
1	02/09/2021	PRELIMINARY PLAN - RESPONSE TO COMMENTS	ASW	ASW
2	03/09/2021	RIDOT REVIEW COMMENTS	ASW	ASW
3	07/29/2021	RIDOT SUBMISSION	ASW	ASW
4	09/06/2021	FINAL PLAN	ASW	ASW

Site Plan - 1

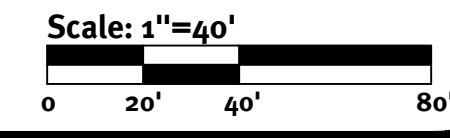
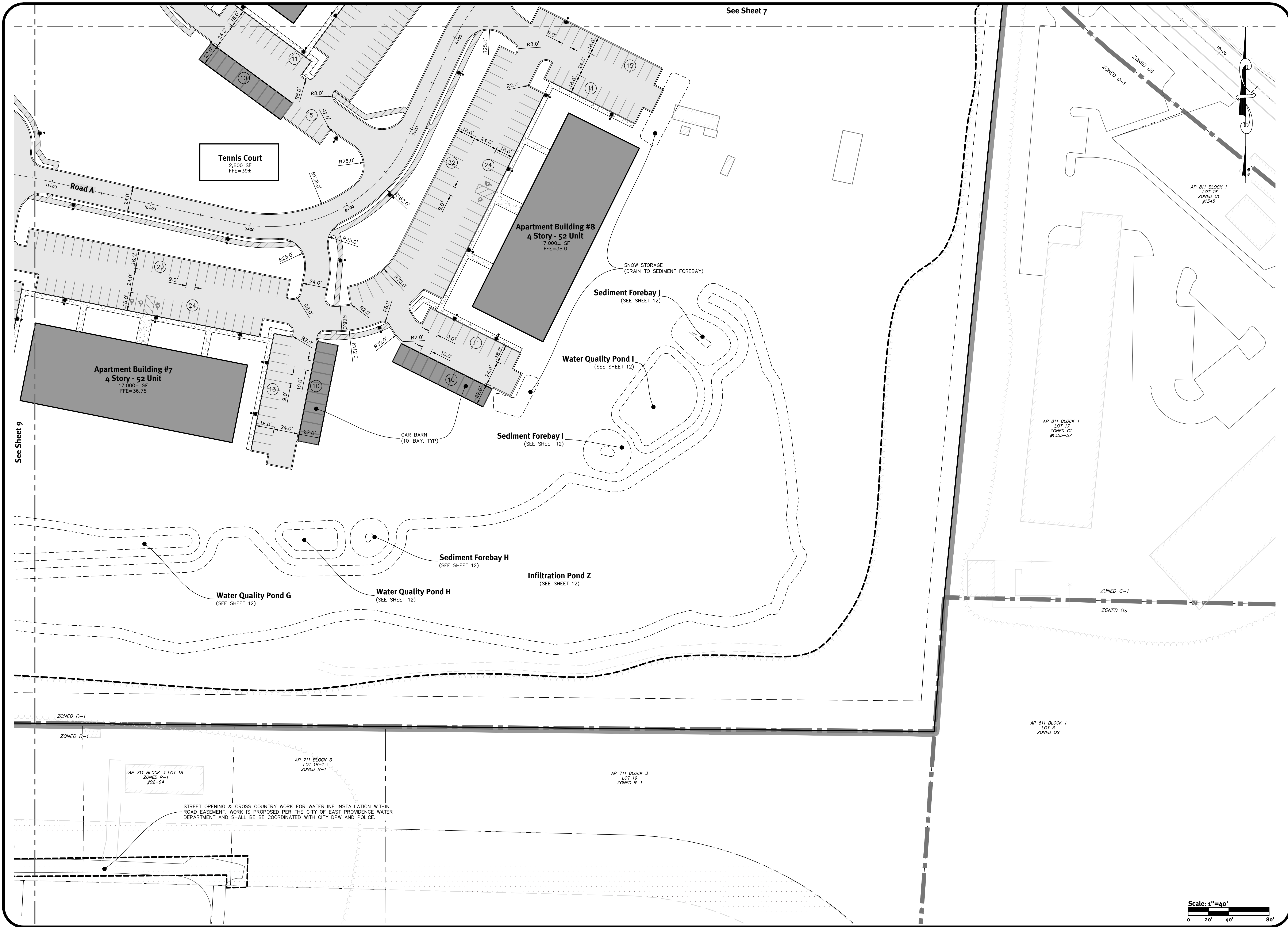
Wampanoag Meadows
 Assessors Map 714, Blocks 1 to 10
 1270 Wampanoag Trail, East Providence, Rhode Island 02903

Prepared For:
Driscoll Development, LLC
 940 Quaker Lane
 Warwick, RI 02888

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SHEET **7** OF 29

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BRANDON D. CARR
(Signature)
REGISTERED PROFESSIONAL ENGINEER
CIVIL

APPROVED BY

ADMINISTRATIVE OFFICER
ZONING OFFICER
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Engineer assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

Rev	Date	Description	By	Design By
4	04/16/2021	Preliminary Plan - Response to Comments	ASM	Design By: A.S.M.
3	03/03/2021	Revised Plan - Response to Comments	ASM	
2	02/22/2021	Revised Plan - Response to Comments	ASM	
1	02/22/2021	REBID Submission	ASM	
0	02/22/2021	REBID Submission	ASM	

Site Plan - 2

Wampanoag Meadows
Assessors Map: 711 Blocks 1 to 3
1270 Wampanoag Trail, East Providence, Rhode Island 02903

Prepared For:
Driscoll Development, LLC
940 Quaker Lane
Warwick, RI 02888

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SHEET **8** OF 29

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See Sheet 10

SITE
A.P. 711 BLOCK 3
LOT 15
ZONED C-1
#1279 WAMPANOG TRAIL

SNOW STORAGE
(DRAIN TO SEDIMENT FOREBAY)

Apartment Building #4
4 Story - 52 Unit
17,000± SF
FFE=36.75

Fitness Center
1,200 SF
FFE=41.5

POOL ENCLOSURE
POOL

Clubhouse
5,000 SF
FFE=41.5
BS=33.2

Emergency Services Access

EMERGENCY GATE
WITH KNOX BOX

Apartment Building #6
4 Story - 52 Unit
17,000± SF
FFE=37.0

Apartment Building #5
4 Story - 52 Unit
17,000± SF
FFE=39.0

Sediment Forebay F
(SEE SHEET 13)

Water Quality Pond F
(SEE SHEET 13)

Infiltration Pond Z
(SEE SHEET 13)

Sediment Forebay G
(SEE SHEET 13)

Water Quality Pond G
(SEE SHEET 13)

CAR BARN
(10-BAY, TYP)

SNOW STORAGE
(DRAIN TO SEDIMENT FOREBAY)

SNOW STORAGE
(DRAIN TO SEDIMENT FOREBAY)

STREET OPENING & CROSS COUNTRY WORK FOR WATERLINE INSTALLATION
WITHIN ROAD EASEMENT. WORK IS PROPOSED PER THE CITY OF EAST
PROVIDENCE WATER DEPARTMENT AND SHALL BE COORDINATED WITH CITY
DPW AND POLICE.

REARDON AVENUE
DEEDBOOK 20 PAGE 29

AP 611 BLOCK 1
LOT 2
ZONED OS
#55

Hospital Road
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

ZONED OS

ZONED C-1

Hospital Road
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

21+00

20+00

19+00

18+00

17+00

16+00

15+00

14+00

13+00

12+00

11+00

10+00

9+00

8+00

7+00

6+00

5+00

4+00

3+00

2+00

1+00

0+00

19+00

18+00

17+00

16+00

15+00

14+00

13+00

12+00

11+00

10+00

9+00

8+00

7+00

6+00

5+00

4+00

3+00

2+00

1+00

0+00

19+00

18+00

17+00

16+00

15+00

14+00

13+00

12+00

11+00

10+00

9+00

8+00

7+00

6+00

5+00

4+00

3+00

2+00

1+00

0+00

19+00

18+00

17+00

16+00

15+00

14+00

13+00

12+00

11+00

10+00

9+00

8+00

7+00

6+00

5+00

4+00

3+00

2+00

1+00

0+00

ZONED OS

ZONED C-1

Hospital Road
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

21+00

20+00

19+00

18+00

17+00

16+00

15+00

14+00

13+00

12+00

11+00

10+00

9+00

8+00

7+00

6+00

5+00

4+00

3+00

2+00

1+00

0+00

19+00

18+00

17+00

16+00

15+00

14+00

13+00

12+00

11+00

10+00

9+00

8+00

7+00

6+00

5+00

4+00

3+00

2+00

1+00

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19+00

18+00

17+00

16+00

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13+00

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19+00

18+00

17+00

16+00

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13+00

12+00

11+00

10+00

9+00

8+00

7+00

6+00

5+00

4+00

3+00

2+00

1+00

0+00

ZONED OS

ZONED C-1

Hospital Road
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

21+00

20+00

19+00

18+00

17+00

16+00

15+00

14+00

13+00

12+00

11+00

10+00

9+00

8+00

7+00

6+00

5+00

4+00

3+00

2+00

1+00

0+00

19+00

18+00

17+00

16+00

15+00

14+00

13+00

12+00

11+00

10+00

9+00

8+00

7+00

6+00

5+00

4+00

3+00

2+00

1+00

0+00

19+00

18+00

17+00

16+00

15+00

14+00

13+00

12+00

11+00

10+00

9+00

8+00

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6+00

5+00

4+00

3+00

2+00

1+00

0+00

ZONED OS

ZONED C-1

Hospital Road
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

21+00

20+00

19+00

18+00

17+00

16+00

15+00

14+00

13+00

12+00

11+00

10+00

9+00

8+00

7+00

6+00

5+00

4+00

3+00

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19+00

18+00

17+00

16+00

15+00

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13+00

12+00

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5+00

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3+00

2+00

1+00

0+00

19+00

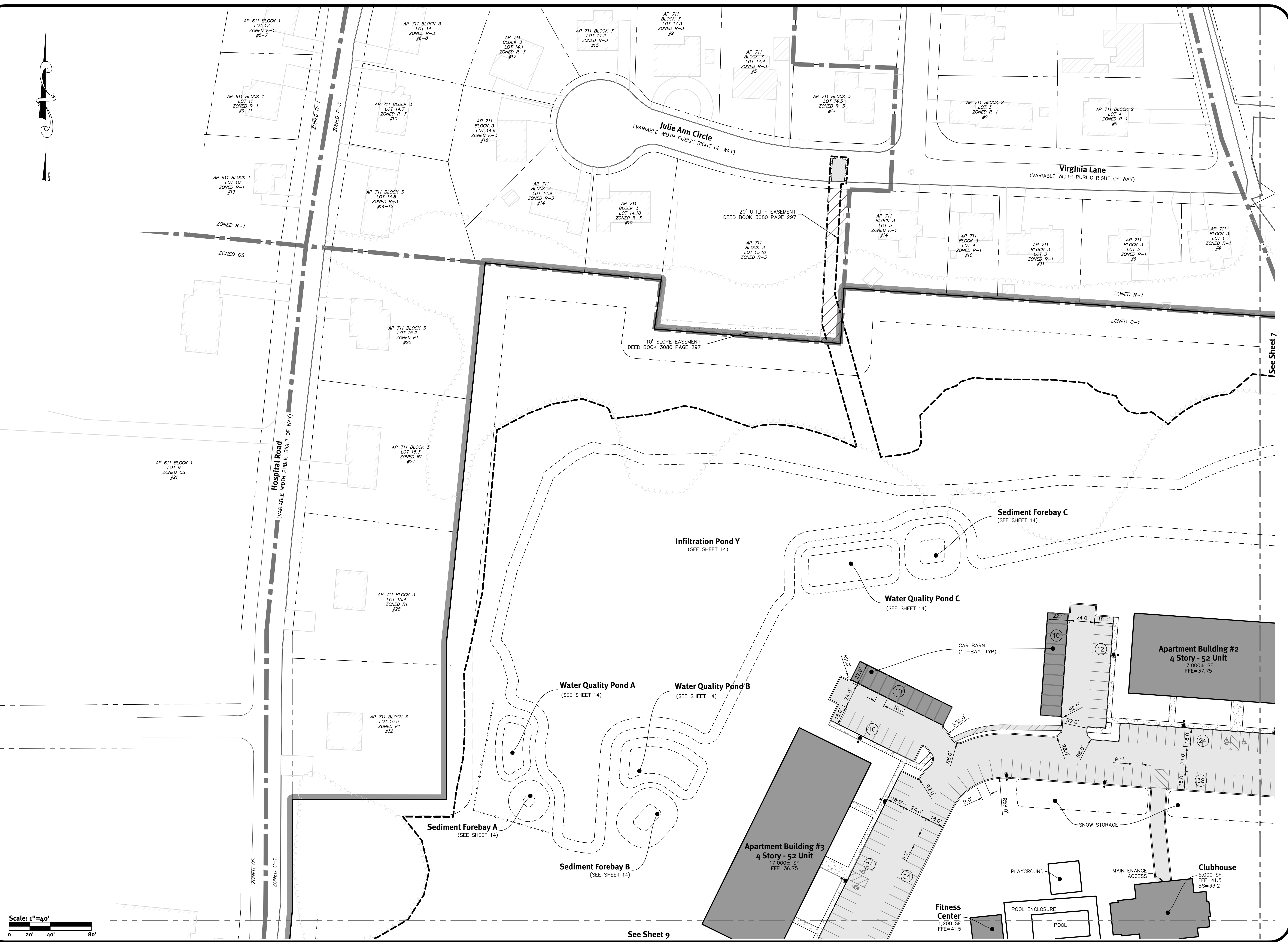
18+00

17+00

16+00

15+00

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Scale: 1"=40'
0 20' 40' 80'

See Sheet 9

See Sheet 7

Site Plan - 4

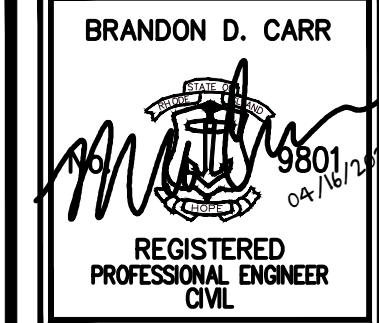
Wampanoag Meadows

Assessors Map #11, Block 3, Lot 10
1270 Wampanoag Trail, East Providence, Rhode Island 02903

Prepared For:
Driscoll Development, LLC

940 Quaker Lane
Warwick, RI 02888

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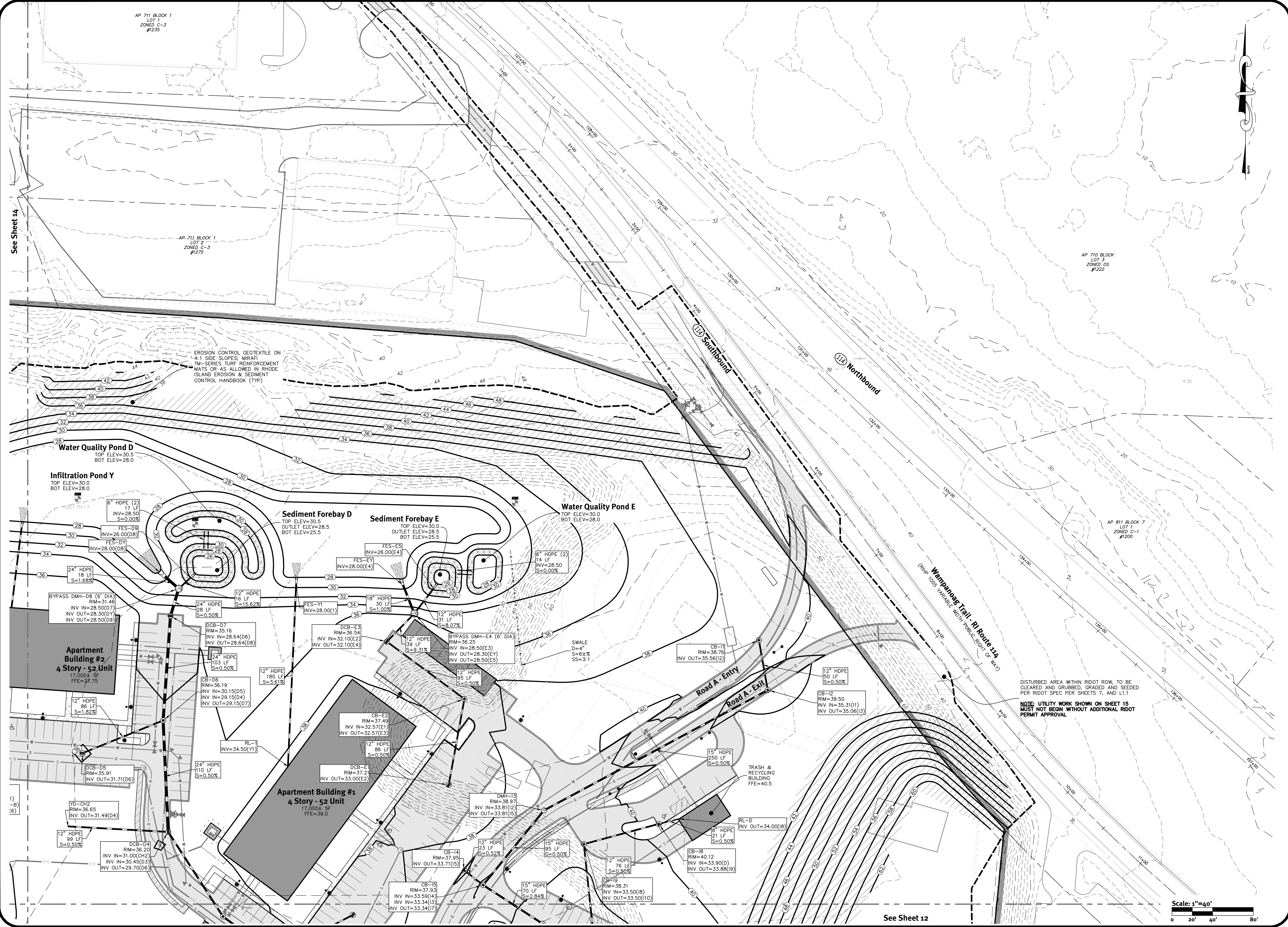
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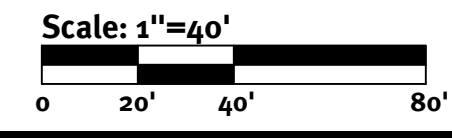
NO.	DATE	DESCRIPTION	DESIGN BY: A.S.M.
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3	07/29/2021	REVISIONS TO COMMENTS	ASW
4	09/06/2021	REVISIONS TO COMMENTS	ASW
5	09/06/2021	REVISIONS TO COMMENTS	ASW
6	09/06/2021	REVISIONS TO COMMENTS	ASW
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50	09/06/2021	REVISIONS TO COMMENTS	ASW

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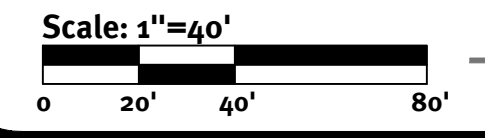
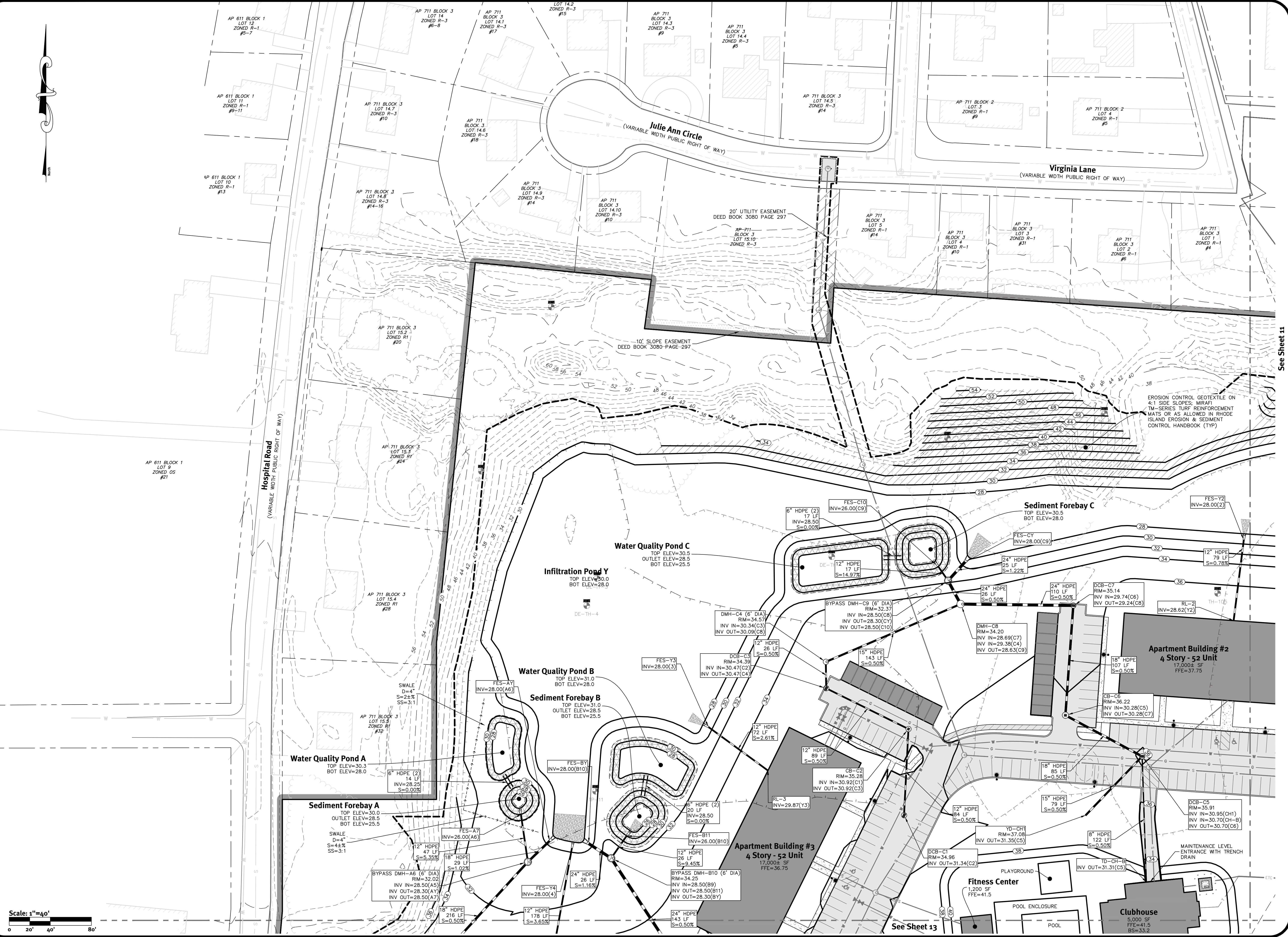
See Sheet 12

APPROVED BY

ADMINISTRATIVE OFFICER

ZONING OFFICER

STATEWORKS CERTIFICATION



See Sheet 11

See Sheet 13

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ZONING OFFICER
SURVEYOR'S CERTIFICATION

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16/20

NO.	DATE	DESCRIPTION	BY
1	02/02/2021	ISSUE FOR PERMIT	ASW
2	03/17/2021	REVISED PER COMMENTS	ASW
3	07/29/2021	REVISED PER COMMENTS	ASW
4	09/02/2021	REVISED PER COMMENTS	ASW

Design By: A.S.M.

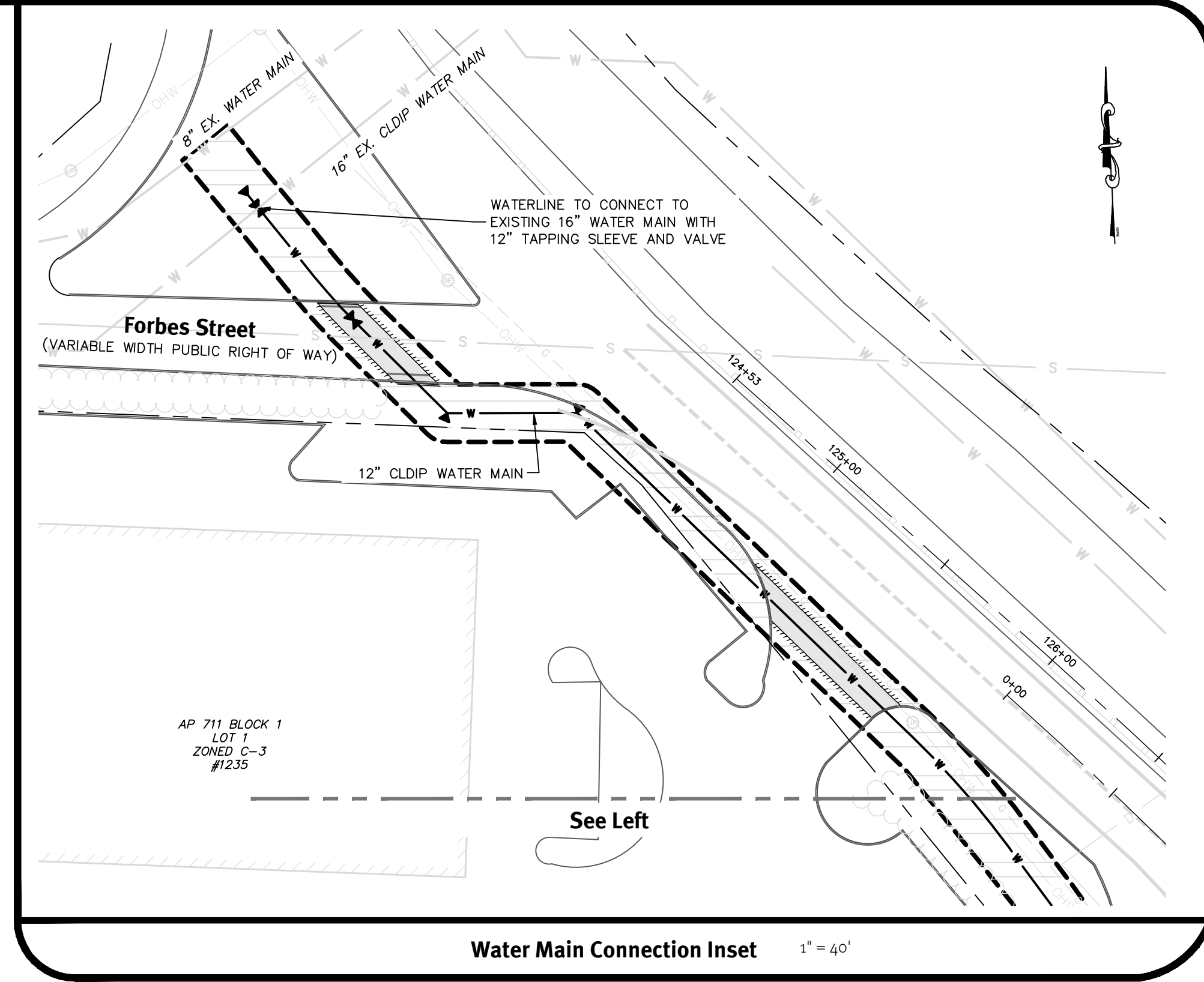
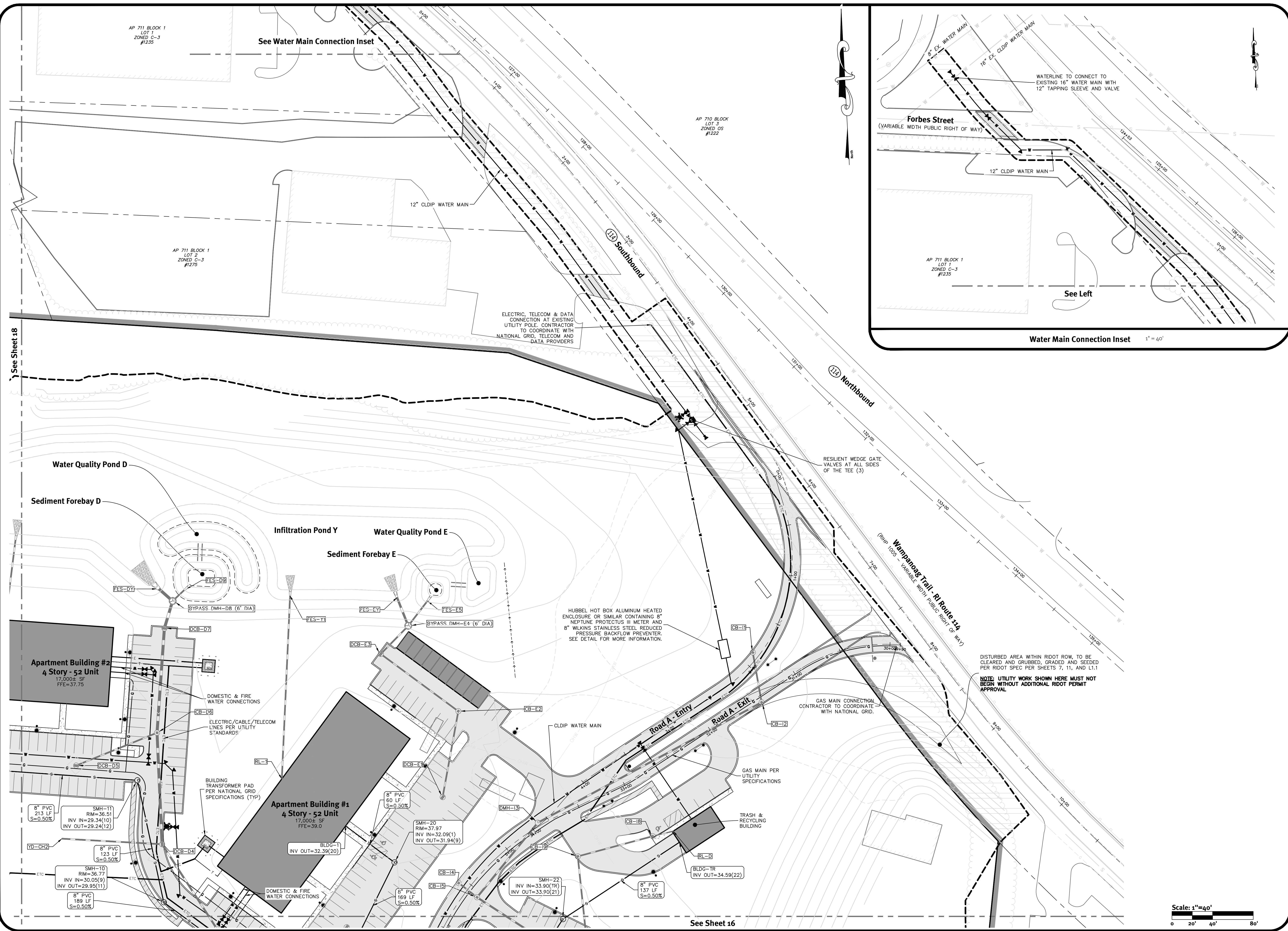
Grading & Drainage Plan - 4

Wampanoag Meadows
 Associates, LLC
 1227 Wampanoag Trail, East Providence, Rhode Island 02903

Driscoll Development, LLC
 940 Quaker Lane
 Warwick, RI 02888

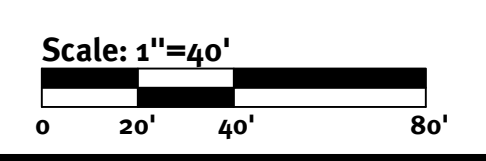
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SHEET 14 OF 29



See Sheet 18

See Sheet 16



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 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

APPROVED BY

ADMINISTRATIVE OFFICER
ZONING OFFICER
SURVEYOR'S CERTIFICATION

This plan set must not be used for construction purposes unless stamped, issued for construction, and stamped by a registered professional engineer of DiPrete Engineering.
 The contractor is responsible for all of the means, methods, safety and implementation of this plan and design.
 Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

NO.	DATE	DESCRIPTION	BY	CHKD.
4	04/16/2021	Preliminary Plan - Response to Comments	AS/M	
3	03/07/2021	RIDOT Review of Comments	AS/M	
2	02/26/2021	Final Review of Comments	AS/M	
1	02/09/2021	RIDOT Submission	AS/M	
0	02/09/2021	REDEM Submission	AS/M	
UD			Drp	
			Design By: A.S.M.	

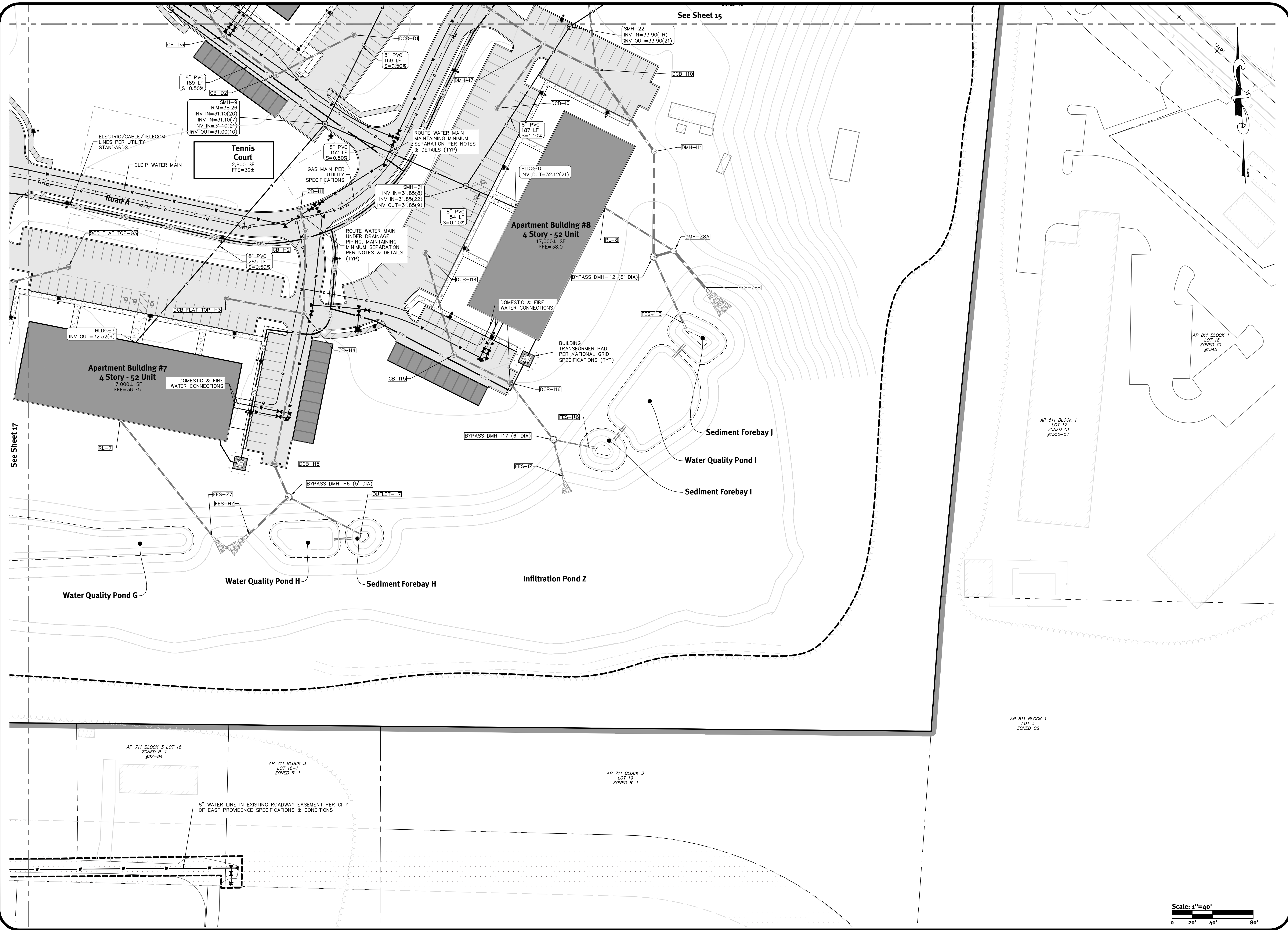
Utility Plan - 1
Wampanoag Meadows
 Assessors Map for Blocks 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
 1270 Wampanoag Trail, East Providence, Rhode Island 02903
 Prepared for:
Driscoll Development, LLC
 940 Quaker Lane
 Warwick, RI 02888

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SHEET **15** OF 29

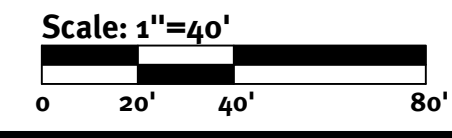
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Z:\demain\projects\1851-001_wampanoag\trail\horizontal\drawings\1851-001_plm - utility plan.dwg Plotdate: 4/16/2021



See Sheet 17

See Sheet 15



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BRANDON D. CARR

 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

APPROVED BY

ADMINISTRATIVE OFFICER
ZONING OFFICER
SURVEYOR'S CERTIFICATION

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Engineering assumes no responsibility for damages incurred due to other party.

See Utility Note on sheet 3.

NO.	DATE	DESCRIPTION	BY	CHKD.
1	02/29/2021	DESIGN	AS/M	AS/M
2	03/03/2021	REVISION	AS/M	AS/M
3	03/03/2021	REVISION	AS/M	AS/M
4	04/16/2021	PRELIMINARY PLAN - RESPONSE TO COMMENTS	AS/M	AS/M

Drawn By: A.S.M. Design By: A.S.M.

Utility Plan - 2

Wampanoag Meadows
 Assessors for AP 711 Block 3 Lots 18, 19, 20
 1270 Wampanoag Trail, East Providence, Rhode Island 02903

Prepared For:
Driscoll Development, LLC
 940 Quaker Lane
 Warwick, RI 02888

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AP 611 BLOCK 1
LOT 3
ZONED OS
#25

HUBBEL HOT BOX ALUMINUM HEATED ENCLOSURE OR SIMILAR CONTAINING 8" NEPTUNE PROTECTUS III METER AND 8" WILKINS STAINLESS STEEL REDUCED PRESSURE BACKFLOW PREVENTER. SEE DETAIL FOR MORE INFORMATION.

PROPOSED WATER MAIN TO CONNECT TO EXISTING 8" WATER MAIN WITH 8" TAPPING SLEEVE AND VALVE. ALL DISTURBED PAVEMENT MUST BE REPLACED TO MATCH THE EXISTING PAVEMENT CROSS SECTION. REPLACEMENT PAVEMENT MUST MEET ALL CITY OF EAST PROVIDENCE STANDARDS. PAVEMENT MUST BE REPLACED WITHIN ONE WEEK OF EXCAVATION.

AP 611 BLOCK 1
LOT 2
ZONED OS
#55

PROPOSED WATER MAIN TO CONNECT TO EXISTING 8" WATER MAIN WITH 8" TAPPING SLEEVE AND VALVE. ALL DISTURBED PAVEMENT MUST BE REPLACED TO MATCH THE EXISTING PAVEMENT CROSS SECTION. REPLACEMENT PAVEMENT MUST MEET ALL CITY OF EAST PROVIDENCE STANDARDS. PAVEMENT MUST BE REPLACED WITHIN ONE WEEK OF EXCAVATION.

Hospital Road
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

8" WATER LINE IN EXISTING ROADWAY EASEMENT PER CITY OF EAST PROVIDENCE SPECIFICATIONS & CONDITIONS

See Sheet 18

SITE
A.P. 711 BLOCK 3
LOT 15
ZONED C-1
#1279 WAMPANOAG TRAIL

BUILDING
TRANSFORMER PAD
PER NATIONAL GRID
SPECIFICATIONS (TYP)

Apartment Building #4
4 Story - 52 Unit
17,000± SF
FFE=36.75

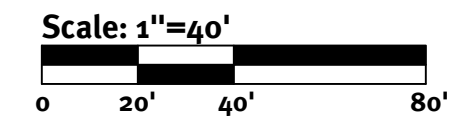
Apartment Building #5
4 Story - 52 Unit
17,000± SF
FFE=39.0

Fitness Center
1,200 SF
FFE=41.5

Clubhouse
5,000 SF
FFE=41.5
BS=33.2

Apartment Building #6
4 Story - 52 Unit
17,000± SF
FFE=37.0

See Sheet 16



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SUPERVISOR'S CERTIFICATION

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The contractor is responsible for all of the means, methods, safety and implementation of this plan and design.

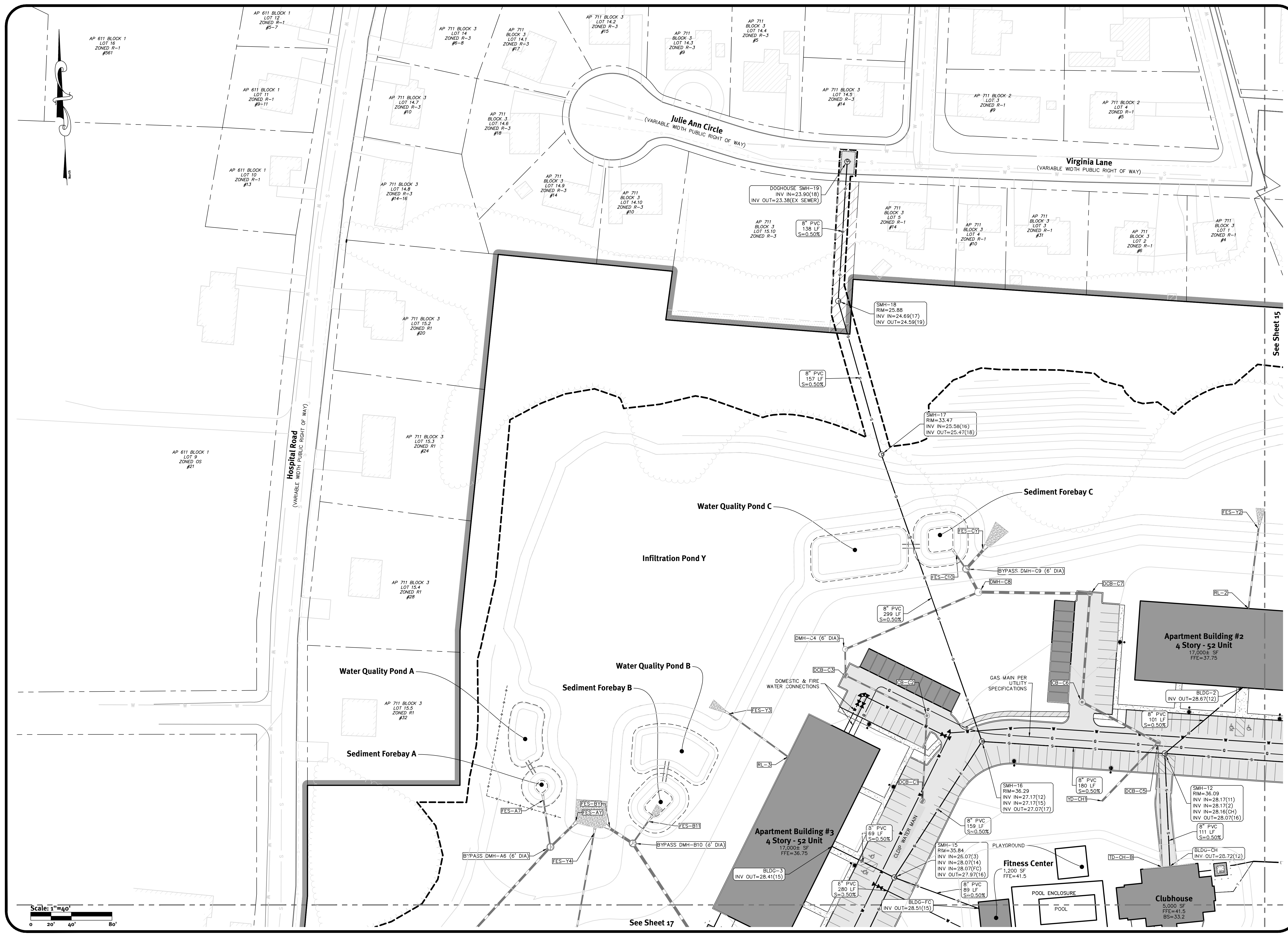
Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

Rev	Date	Description	Drawn By	Design By
1	02/09/2020	REVISION	AS/M	Dpr
2	03/09/2021	REVISION	AS/M	Dpr
3	07/29/2021	REVISION	AS/M	Dpr
4	04/16/2021	PRELIMINARY PLAN - RESPONSE TO COMMENTS	AS/M	Dpr

Utility Plan - 3
Wampanoag Meadows
Assessors Map 711, Block 3, Lot 15
1279 Wampanoag Trail, East Providence, Rhode Island 02903
Prepared for:
Driscoll Development, LLC
940 Quaker Lane
WARRICK, RI 02888

Drawn By: A.S.M. Design By: A.S.M.

z:\demian\projects\1851-001_wampanoag\trail\hatched drawings\1851-001_plm - utility plan.dwg Plotted: 4/16/2021



Scale: 1"=40'

0 20' 40' 80'

See Sheet 17

See Sheet 15

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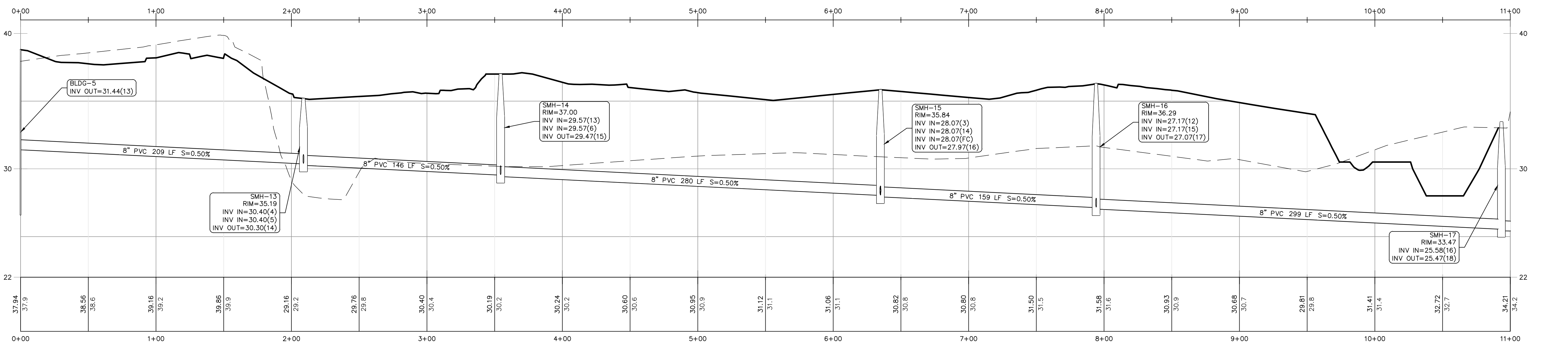
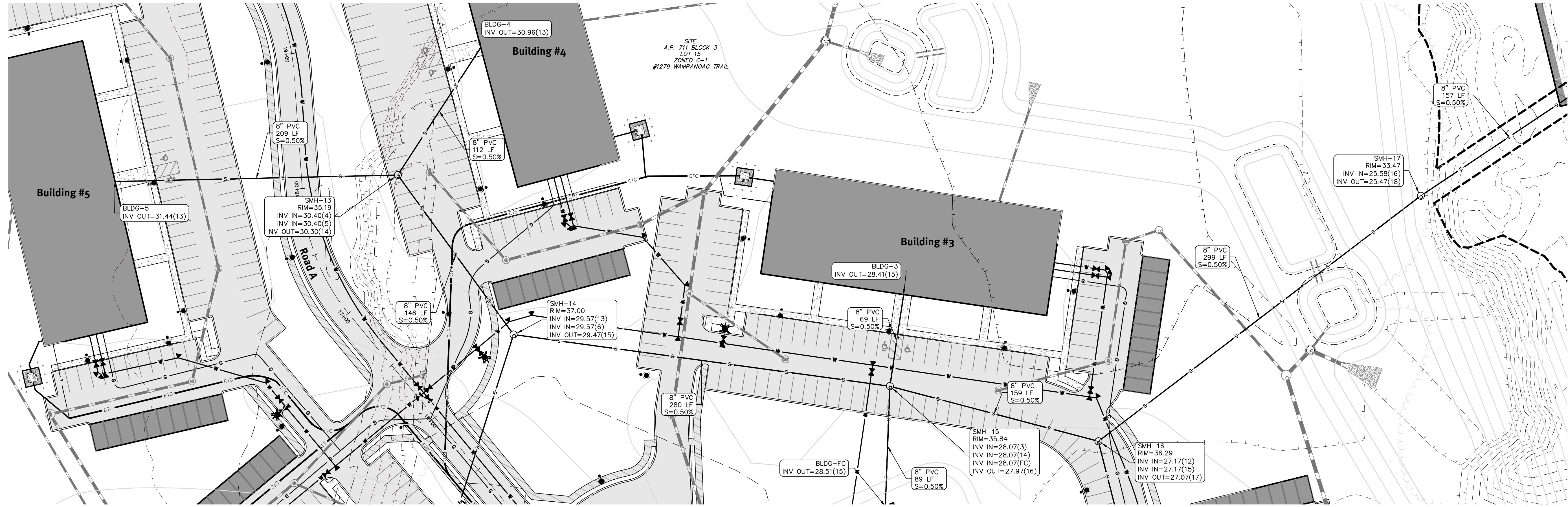
APPROVED BY
 ADMINISTRATIVE OFFICER
 ZONING OFFICER
 SURVEYORS CERTIFICATION

This plan set must not be used for construction purposes unless stamped for construction and stamped by a registered professional engineer of DiPrete Engineering.
 The contractor is responsible for all of the means, methods, safety and implementation of this plan and design.
 Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

NO.	DATE	DESCRIPTION	BY	CHKD.
1	02/09/2020	REVISION	AS/M	AS/M
2	03/03/2021	REVISION	AS/M	AS/M
3	03/03/2021	REVISION	AS/M	AS/M
4	04/16/2021	PRELIMINARY PLAN - RESPONSE TO COMMENTS	AS/M	AS/M

Drawn By: A.S.M. Design By: A.S.M.

Utility Plan - 4
Wampanoag Meadows
 Assessors Map #11, Block 3, Lots 1-15
 1270 Wampanoag Trail, East Providence, Rhode Island 02903
 Prepared for:
Driscoll Development, LLC
 940 Quaker Lane
 Warwick, RI 02888
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Pipe Run - Building 5 to SMH 17

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ADMINISTRATIVE OFFICER

ZONING OFFICER

SURVEYOR'S CERTIFICATION

This plan set must not be used for construction purposes unless stamped for construction and stamped by a registered professional engineer of DiPrete Engineering.

The contractor is responsible for all of the means, methods, safety and quality of the work shown on this plan and for the proper implementation of this plan and design.

Engineering assumes no responsibility for damages incurred due to the use of this plan set for any purpose other than that for which it was prepared.

See Utility Note on sheet 3.

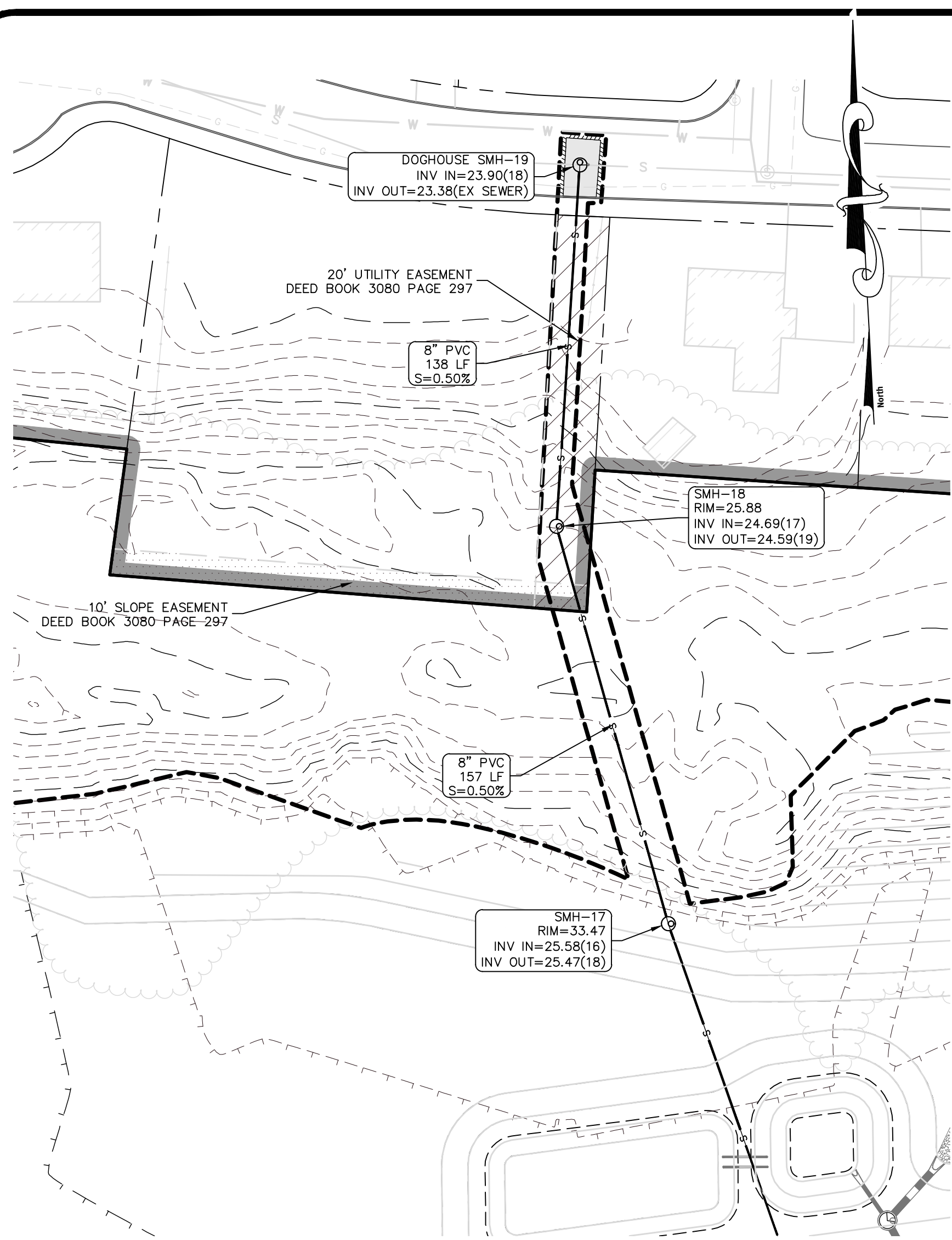
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2	03/03/2021	REVISED PLAN - RESPONSE TO COMMENTS	ASM	
3	07/29/2021	REVISED PLAN - RESPONSE TO COMMENTS	ASM	
4	09/06/2021	REVISED PLAN - RESPONSE TO COMMENTS	ASM	
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Sewer Service Profiles - 1

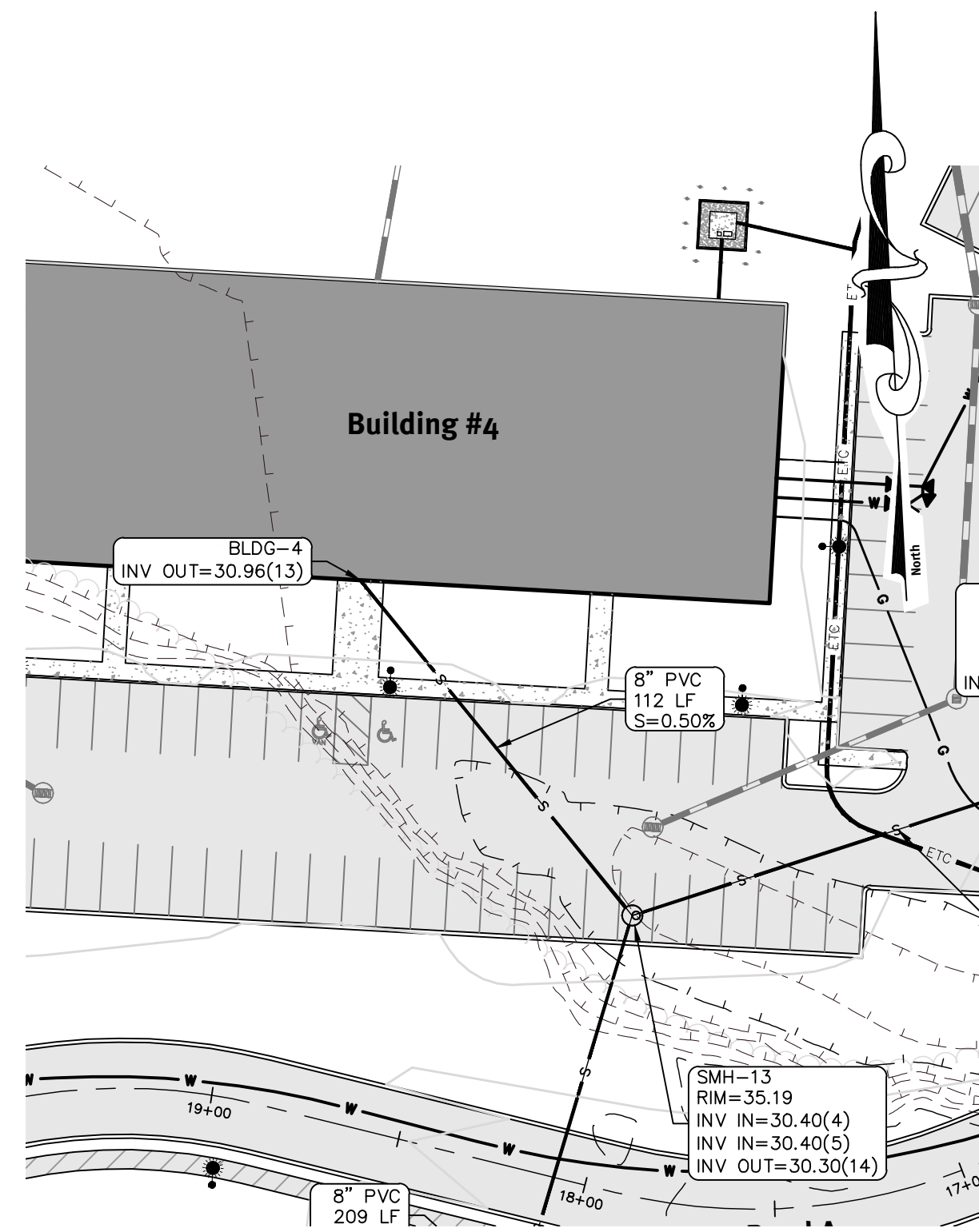
Wampanoag Meadows
 Assessors Map #17, Block 3, Lot 15
 1279 Wampanoag Trail, East Providence, Rhode Island 02903

Prepared For: **Driscoll Development, LLC**
 940 Quaker Lane
 Warwick, RI 02888

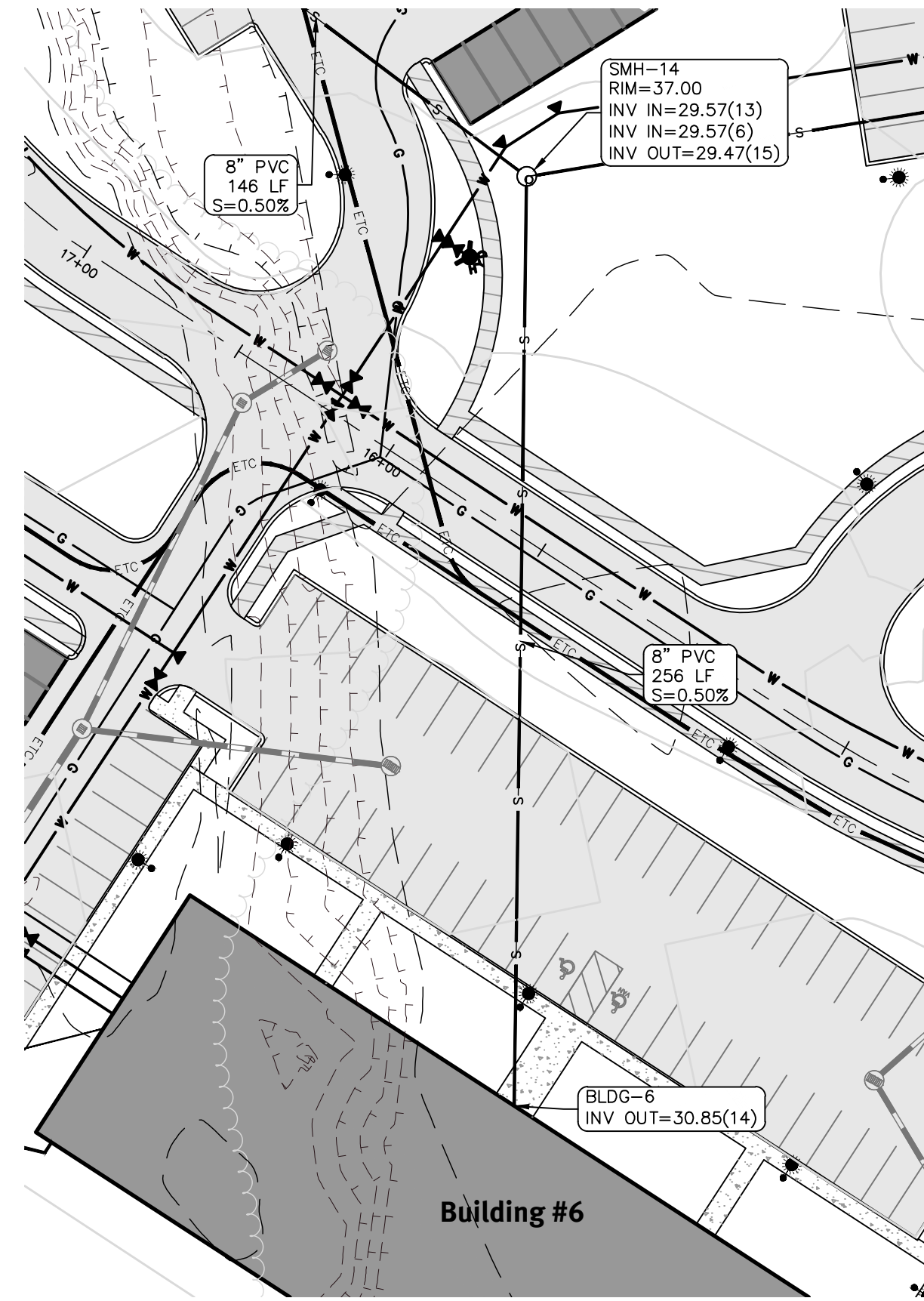
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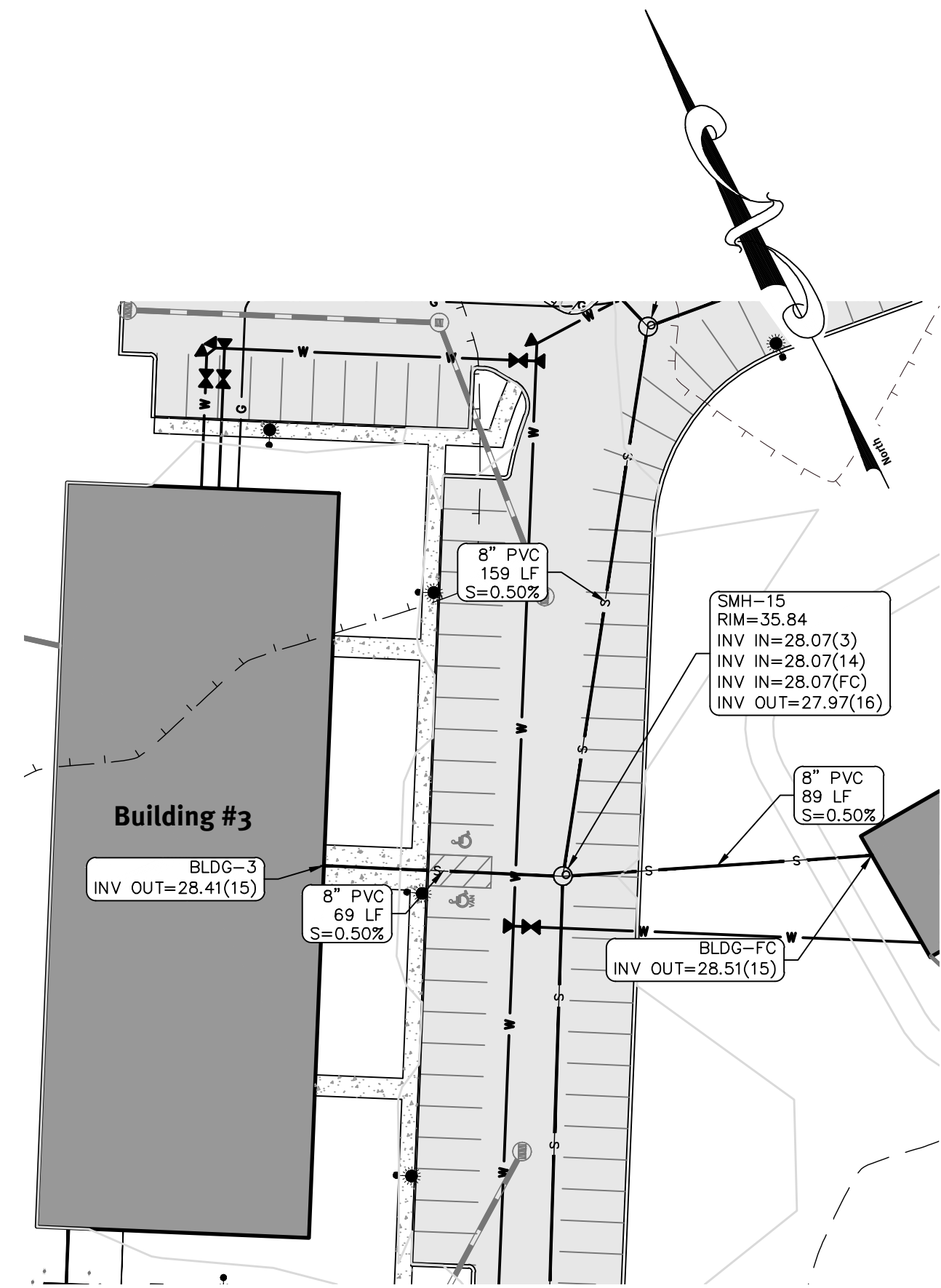
Plan - SMH 17 to Existing Main in Julie Ann Circle
Scale: 1"=40'



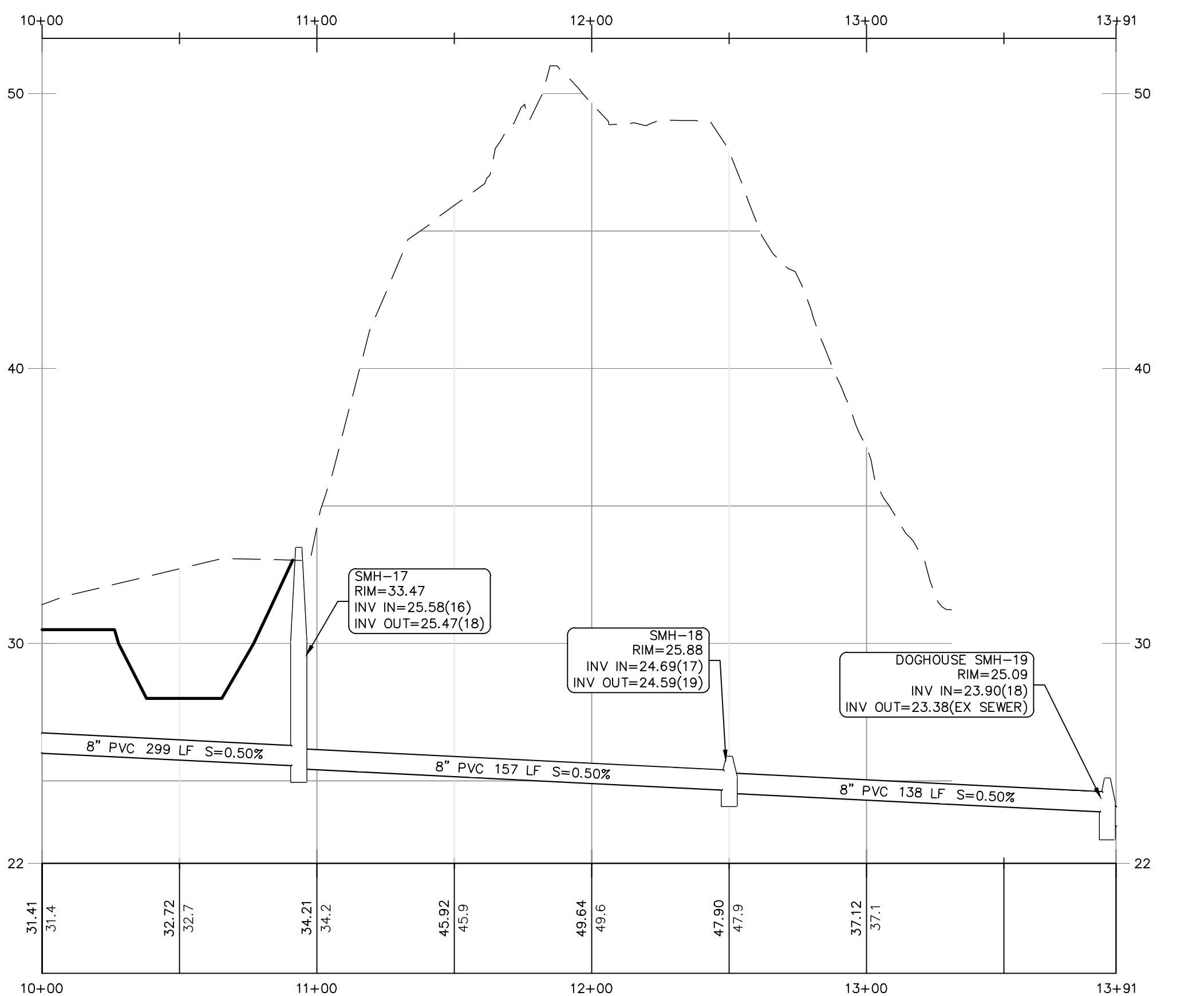
Plan - Building 4 to DMH 13
Scale: 1"=40'



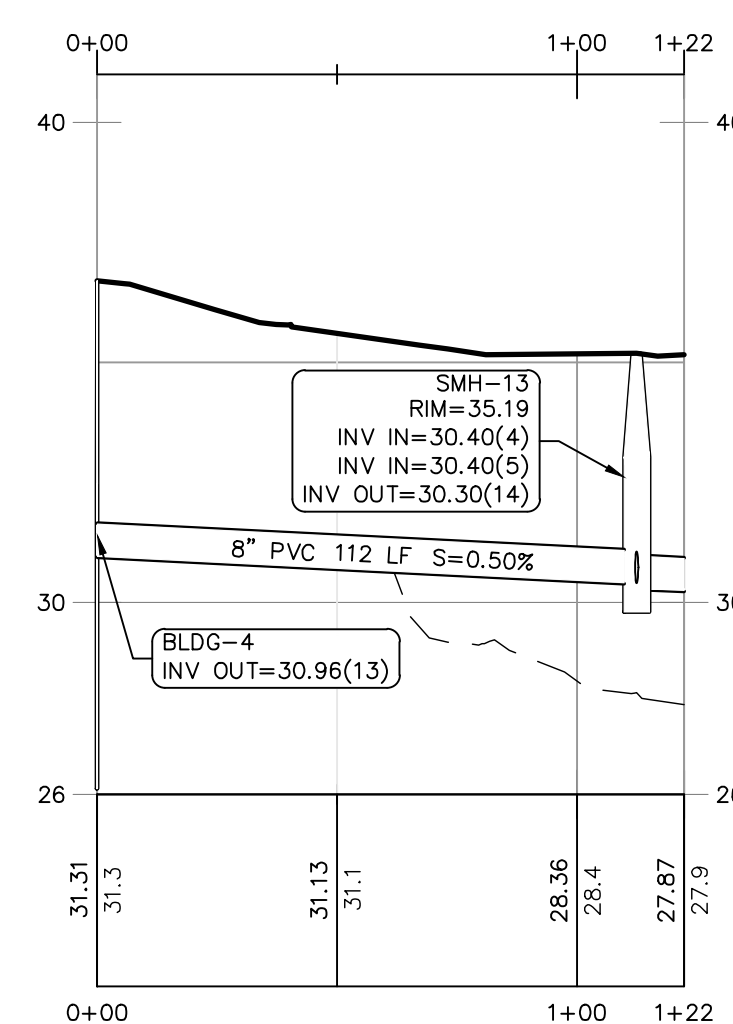
Plan - Building 6 to SMH 14
Scale: 1"=40'



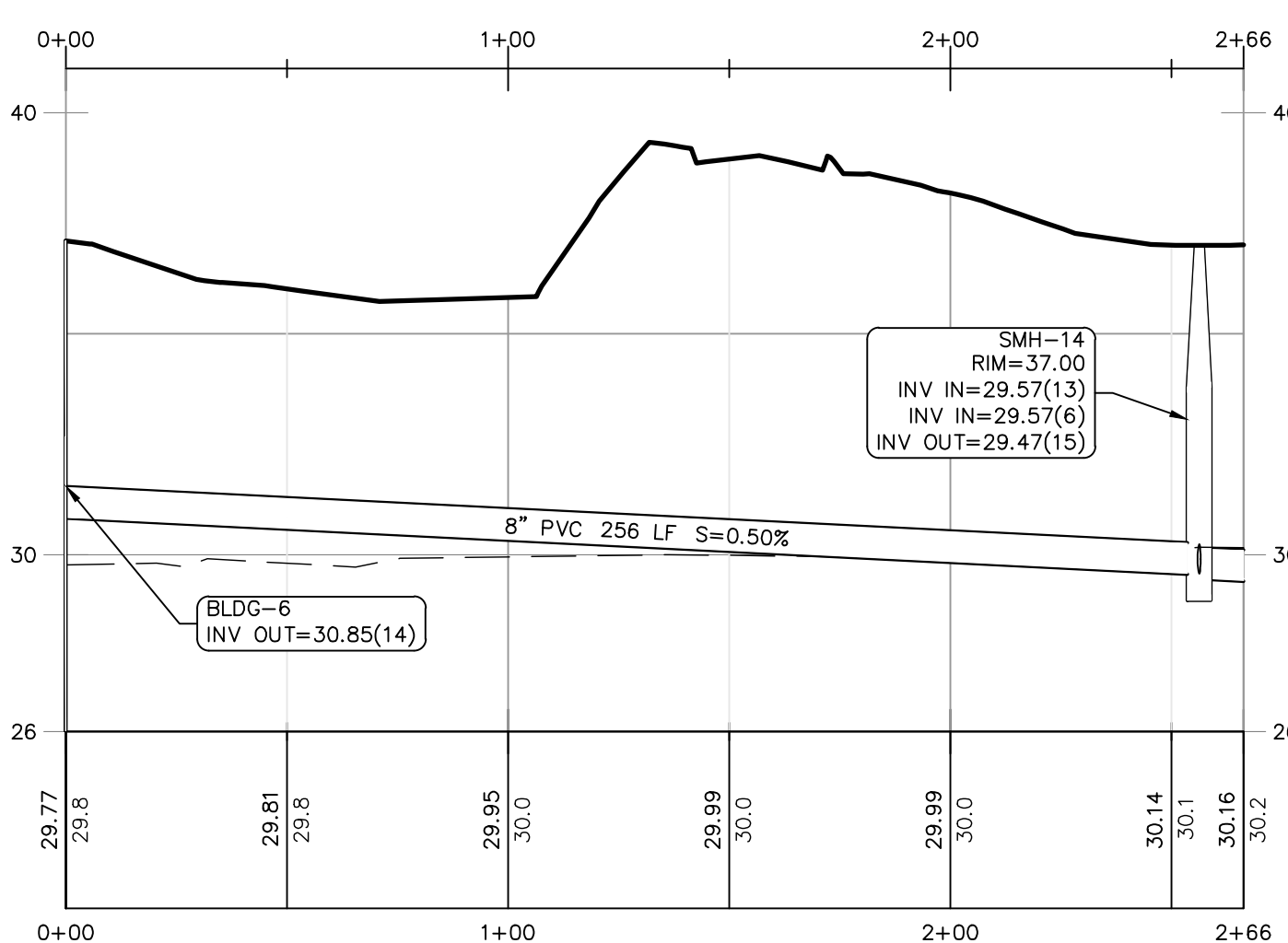
Plan - Building 3 thru SMH 15 to Fitness Center
Scale: 1"=40'



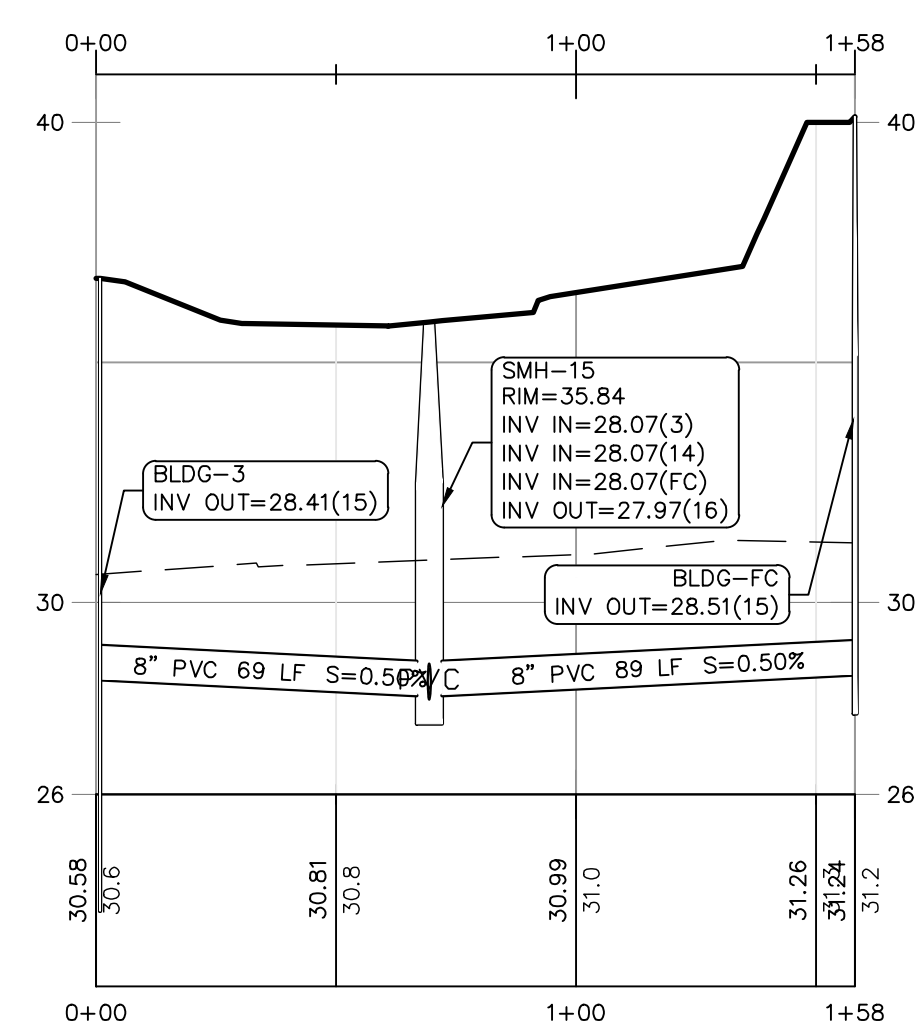
Pipe Run - SMH 17 to Existing Main in Julie Ann Circle
Vertical: 0 2' 4' 8'
Horizontal: 0 20' 40' 80'



Pipe Run - Building 4 to DMH 13
Vertical: 0 2' 4' 8'
Horizontal: 0 20' 40' 80'



Pipe Run - Building 6 to SMH 14
Vertical: 0 2' 4' 8'
Horizontal: 0 20' 40' 80'



Pipe Run - Building 3 thru SMH 15 to Fitness Center
Vertical: 0 2' 4' 8'
Horizontal: 0 20' 40' 80'

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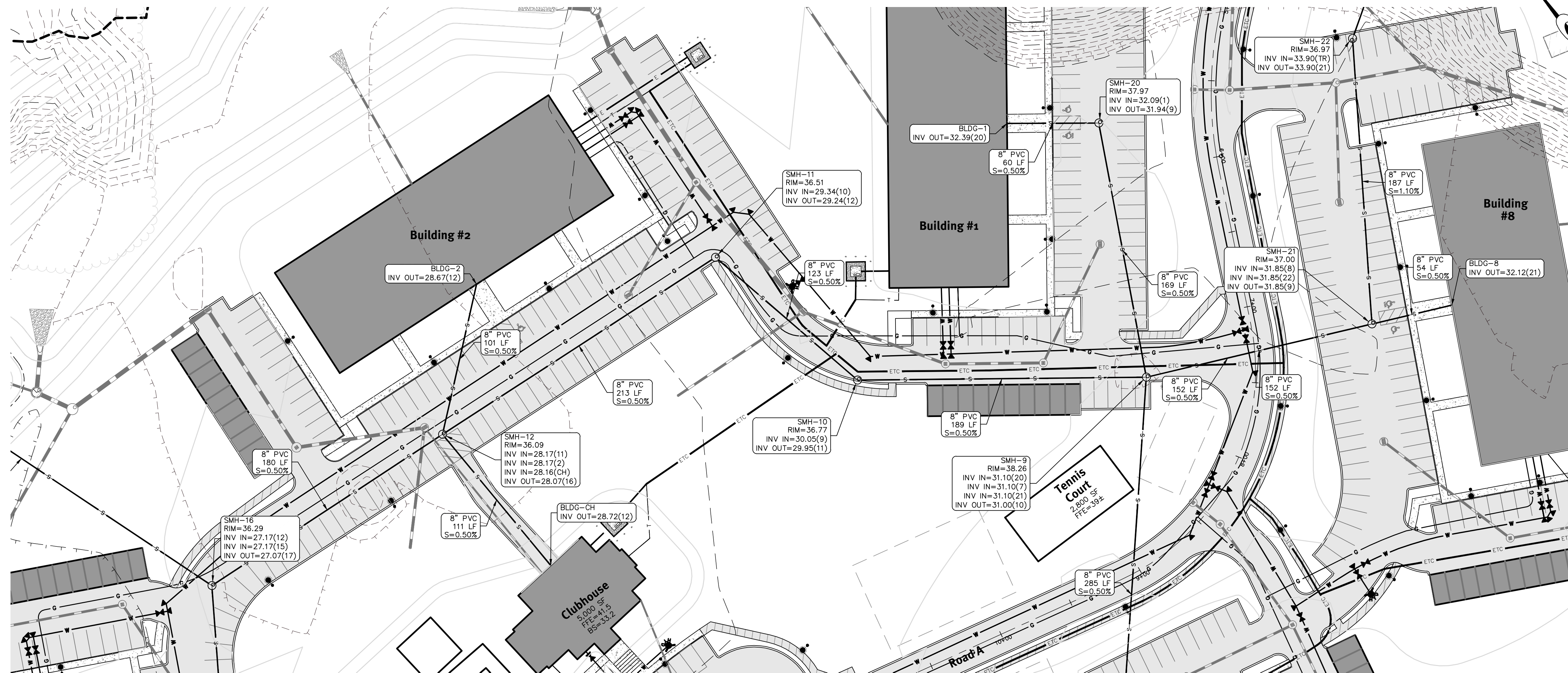
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CIVIL

APPROVED BY
ADMINISTRATIVE OFFICER
ZONING OFFICER
SURVEYORS CERTIFICATION

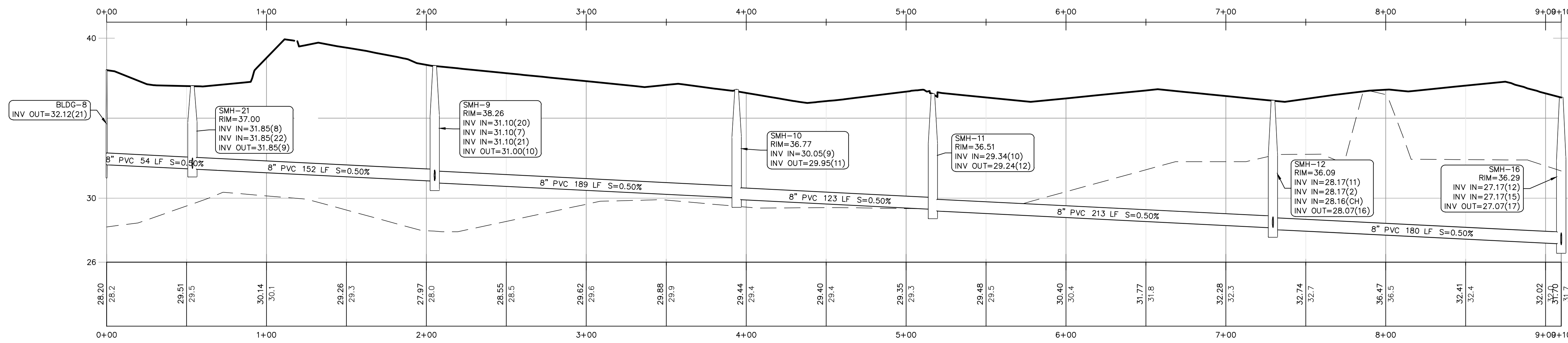
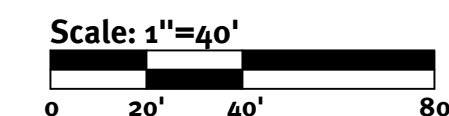
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No.	Date	Description	By	Design By
1	02/09/2021	PRELIMINARY PLAN - RESPONSE TO COMMENTS	ASW	A.S.M.
2	03/03/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
3	03/09/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
4	04/06/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
5	04/29/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
6	05/07/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
7	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
8	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
9	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
10	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
11	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
12	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
13	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
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18	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
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22	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
23	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
24	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
25	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
26	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
27	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
28	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
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30	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
31	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
32	05/12/2021	REVISED PLAN - SUBMISSION	ASW	A.S.M.
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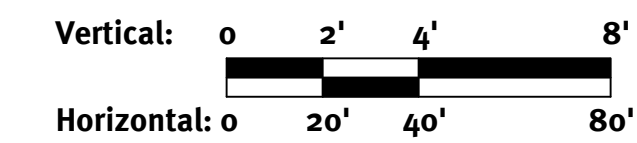
Sewer Service Profiles - 2
Wampanoag Meadows
Assessors Map #14 Block 3 Lot 100
1270 Wampanoag Trail, East Providence, Rhode Island 02903
Prepared For: **Driscoll Development, LLC**
940 Quaker Lane
Warwick, RI 02888
DE JOB No. 1851-001. Copyright 2021 by DiPrete Engineering Associates, Inc.



Plan - Building 8 to SMH 16



Pipe Run - Building 8 to SMH 16



Sewer Service Profiles - 3
Wampanoag Meadows
 Assessors Map, Block 3, Lot 10
 1279 Wampanoag Trail, East Providence, Rhode Island 02903
 Prepared for:
Driscoll Development, LLC
 940 Quaker Lane
 WARWICK, RI 02886
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 Evident of this plan and design are approximate only. DiPrete Engineering assumes no responsibility for damages incurred due to the locations of existing utilities. See Utility Note on sheet 3.
 Design By: A.S.M.
 Drawn By: A.S.M.

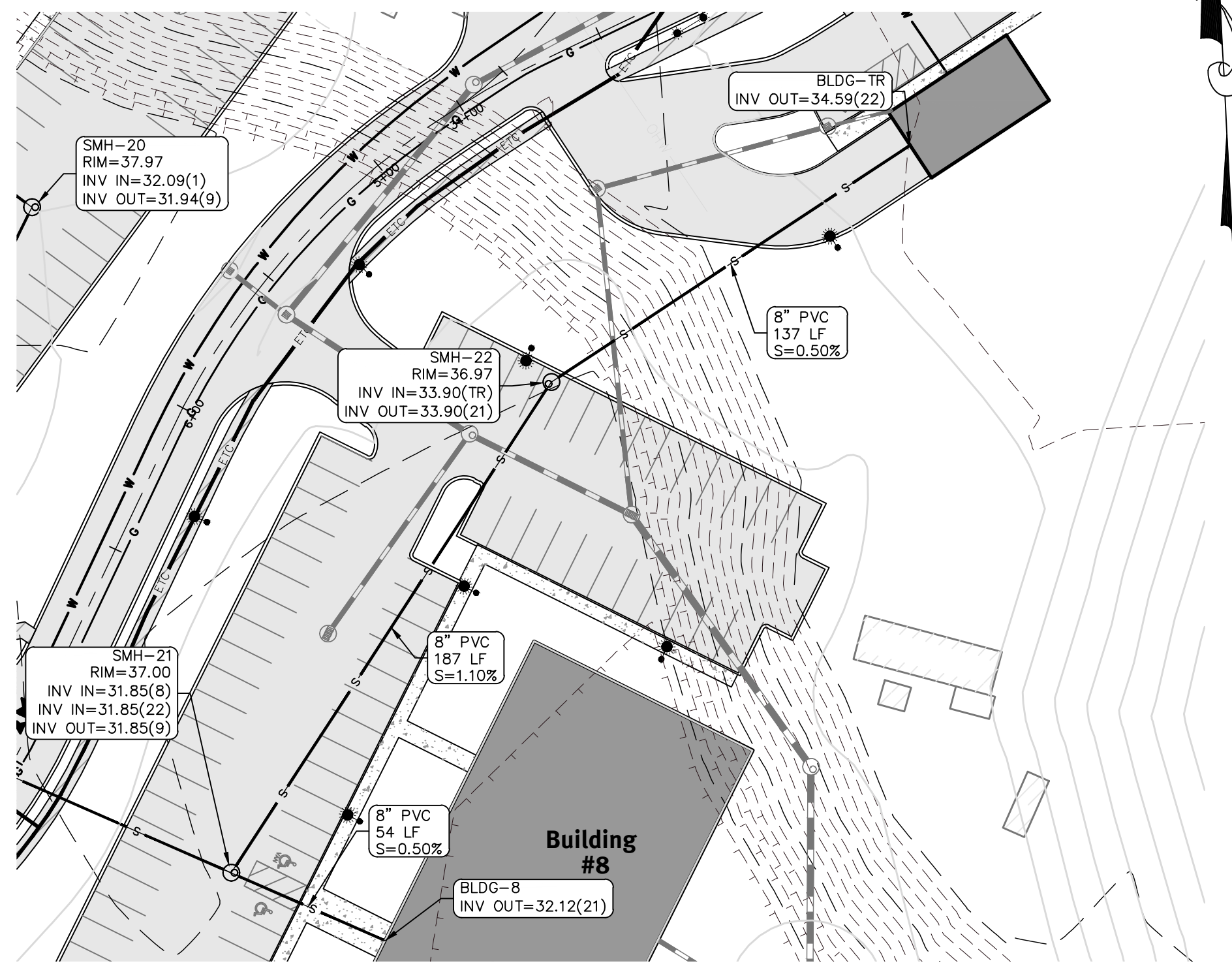
APPROVED BY
 ADMINISTRATIVE OFFICER
 ZONING OFFICER
 SURVEYORS CERTIFICATION

BRANDON D. CARR

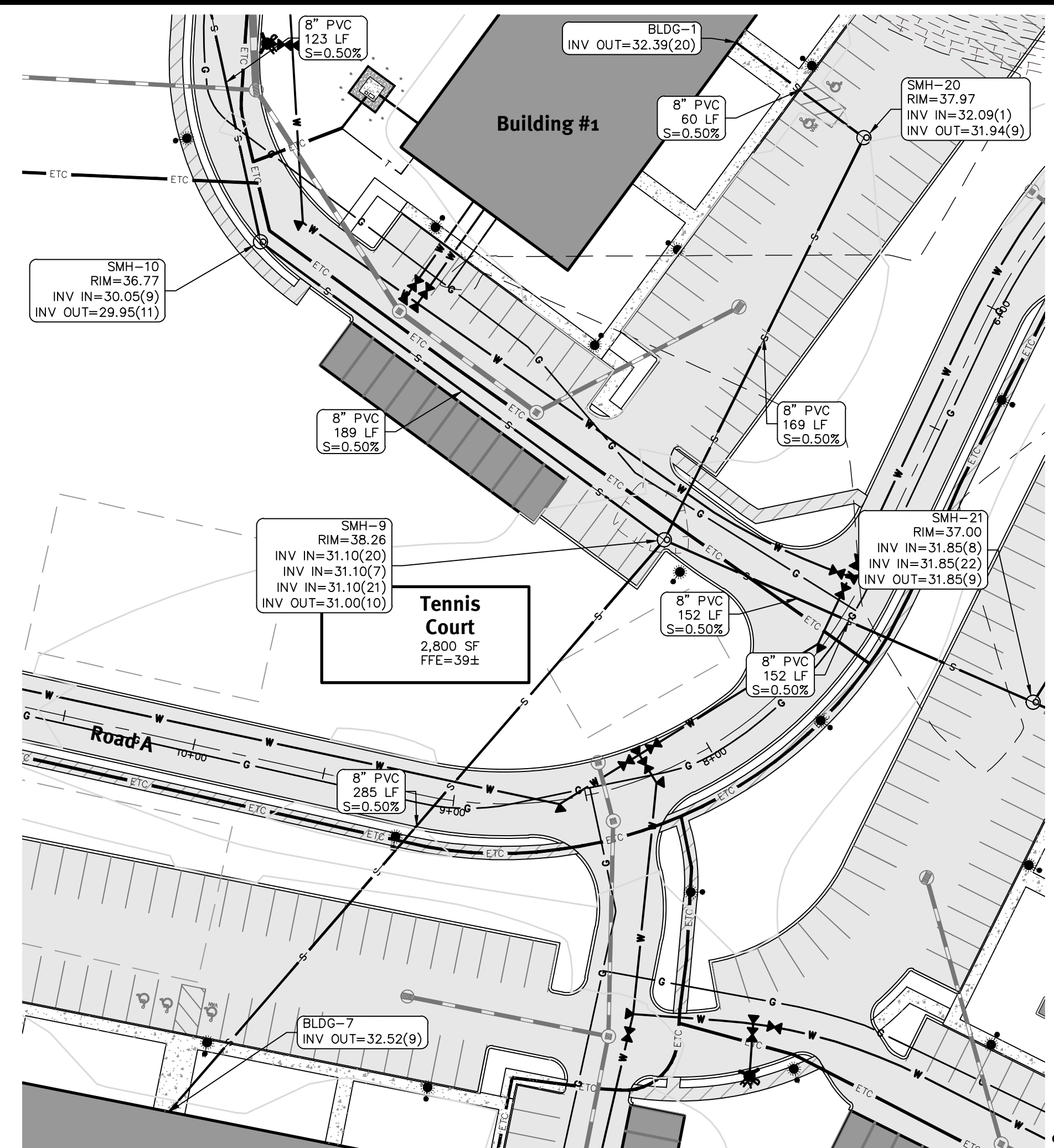
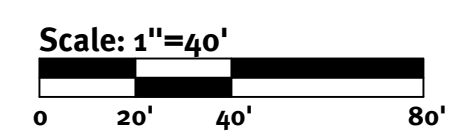
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-644-6006 www.diprete-eng.com
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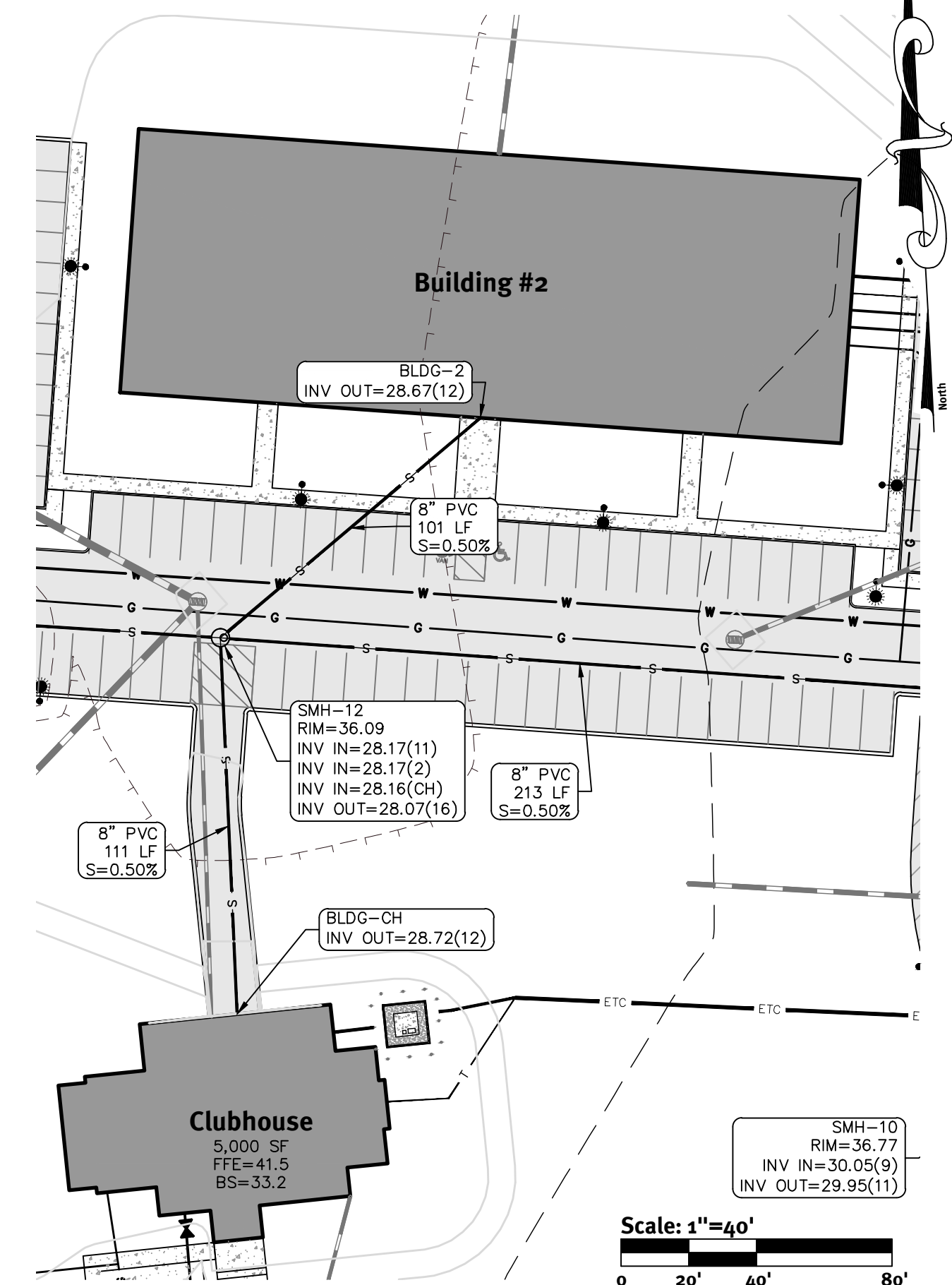
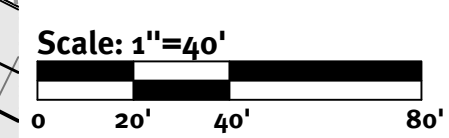
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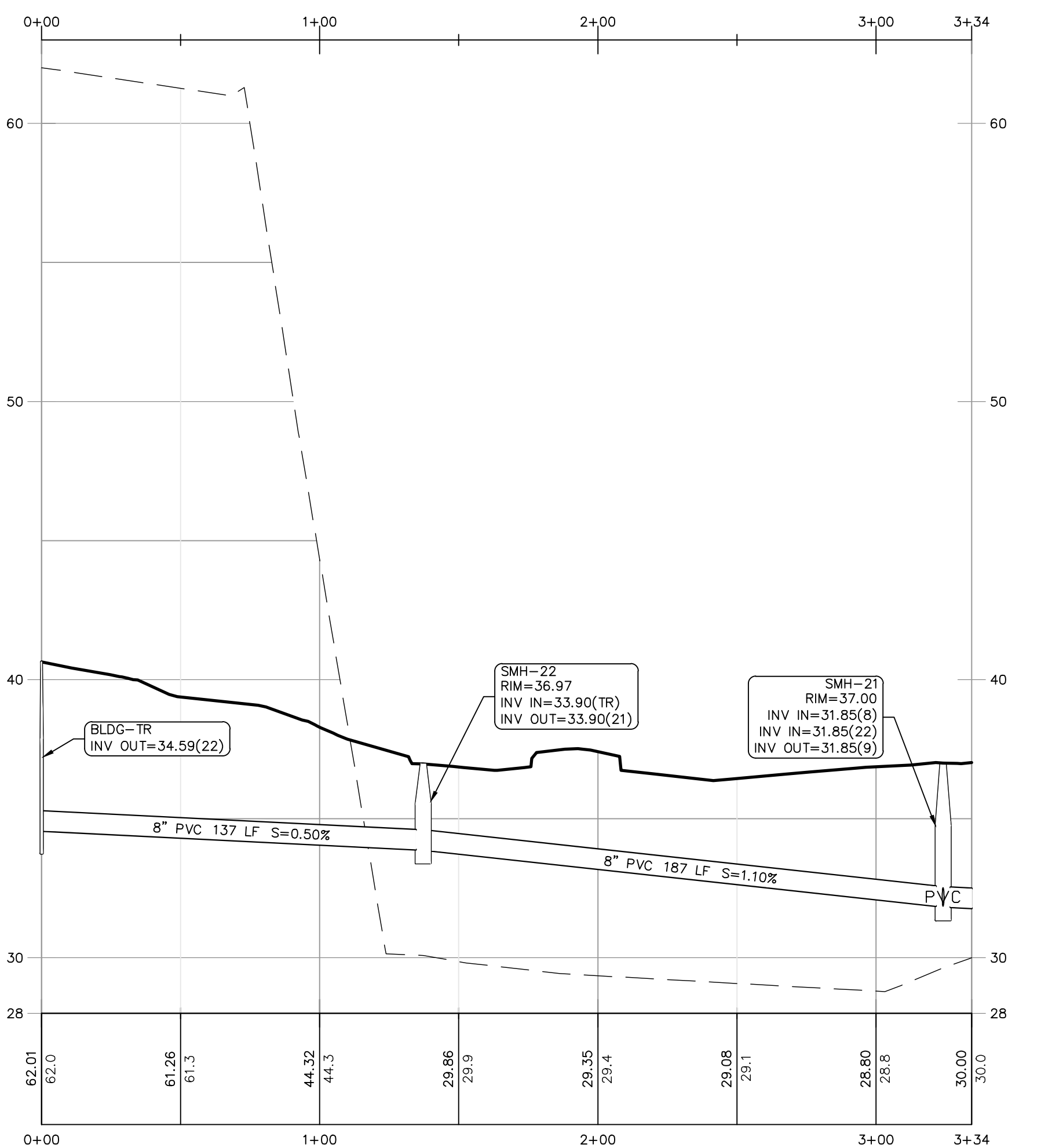
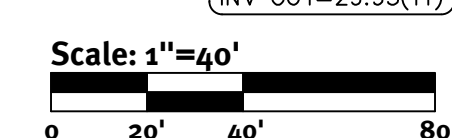
Plan - Trash and Recycling Building to SMH 21



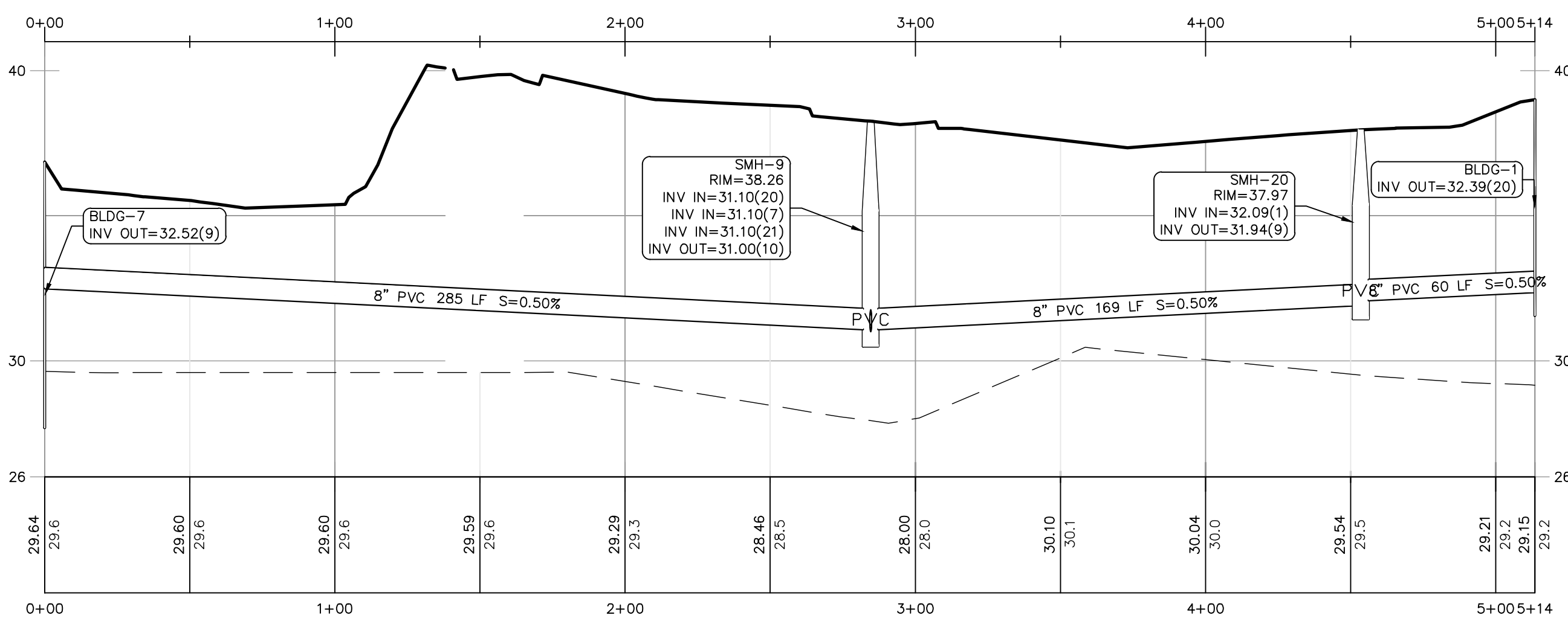
Plan - Building 7 thru SMH 9 to Building 1



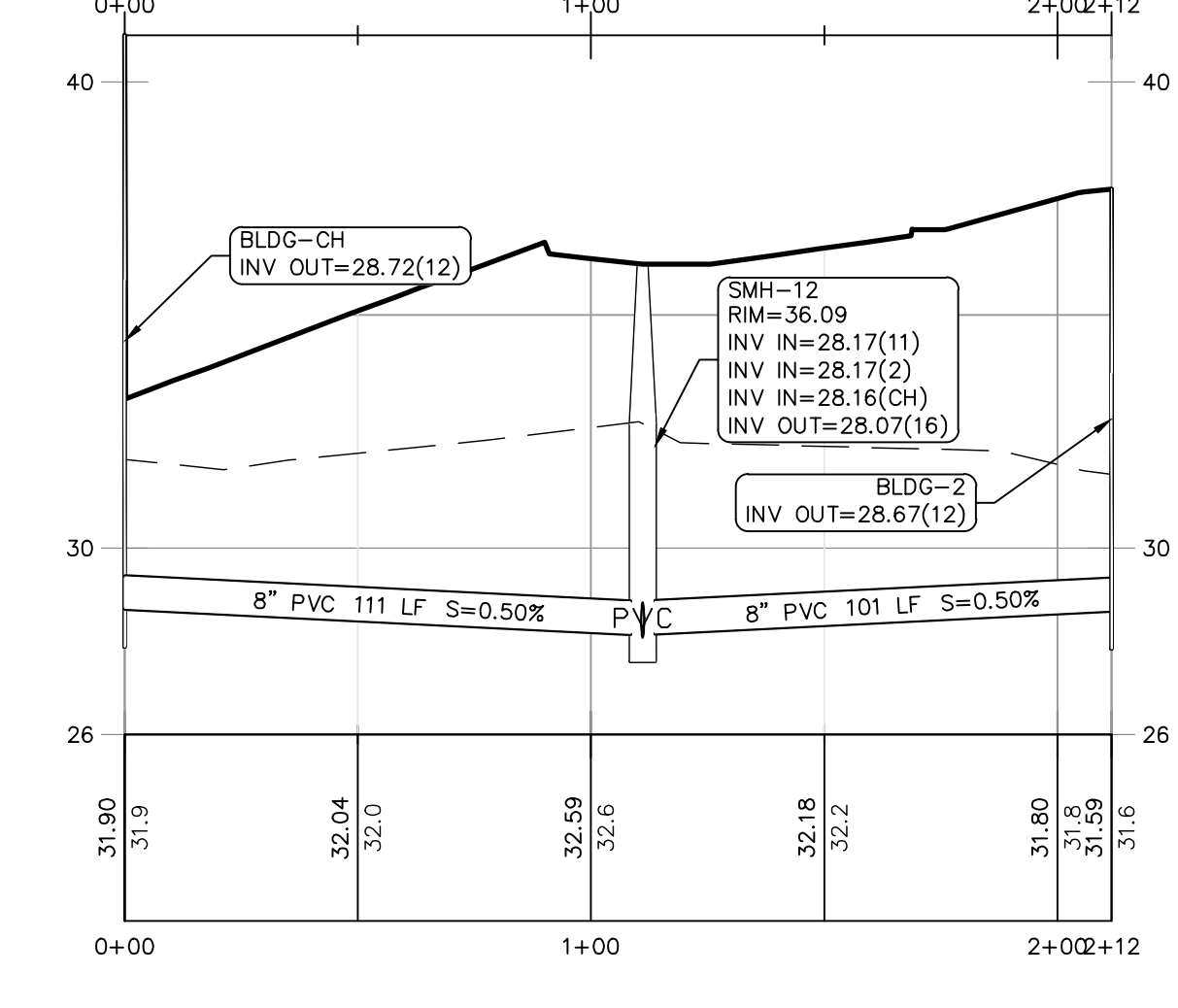
Plan - Clubhouse thru SMH 12 to Building 2



Profile - Trash and Recycling Building to SMH 21



Profile - Building 7 thru SMH 9 to Building 1



Profile - Clubhouse thru SMH 12 to Building 2

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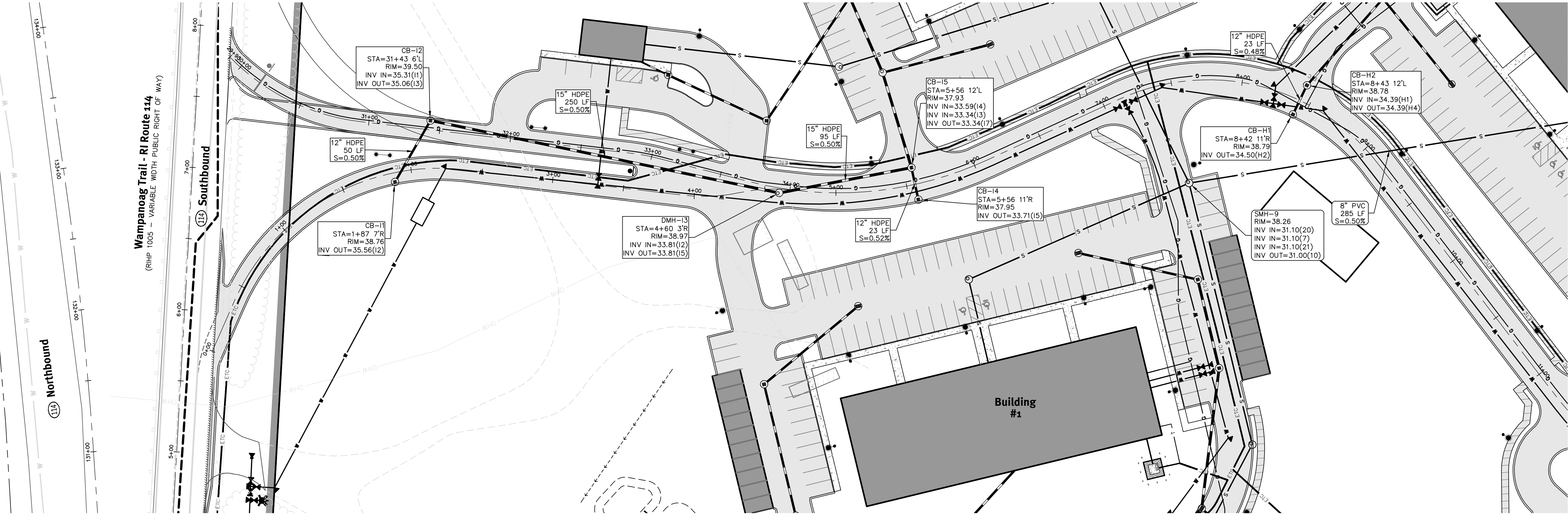
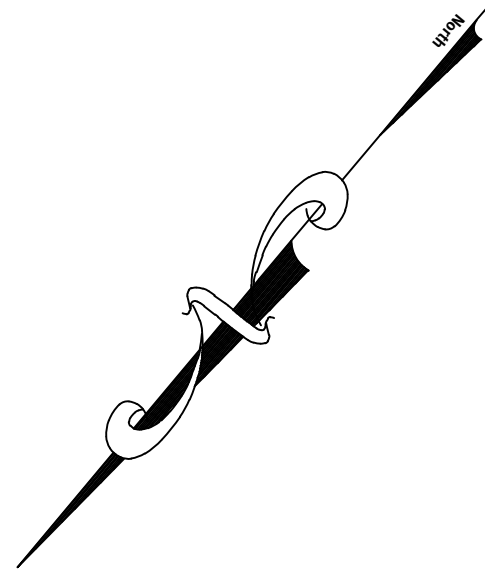
APPROVED BY
 ADMINISTRATIVE OFFICER
 ZONING OFFICER
 SURVEYOR'S CERTIFICATION

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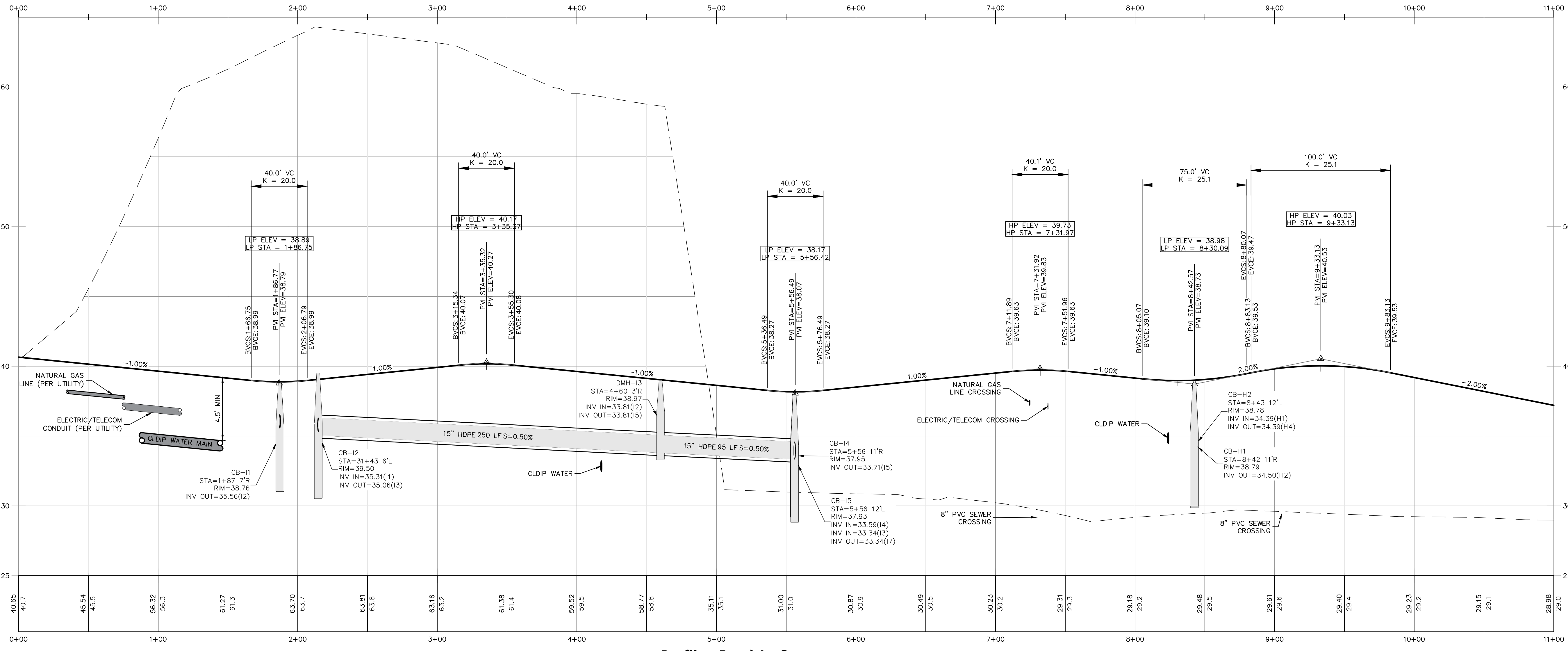
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Sewer Service Profiles - 4
Wampanoag Meadows
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 1270 Wampanoag Trail, East Providence, Rhode Island 02903
 Prepared For: **Driscoll Development, LLC**
 940 Quaker Lane
 WARRICK, RI 02888

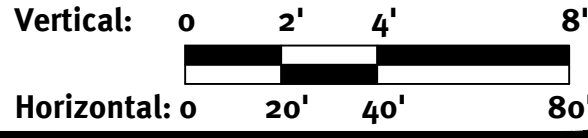
Drawn By: A.S.M.
 Design By: A.S.M.



Plan - Road A - Sta. 00+00 - 11+00



Profile - Road A - Sta. 00+00 - 11+00



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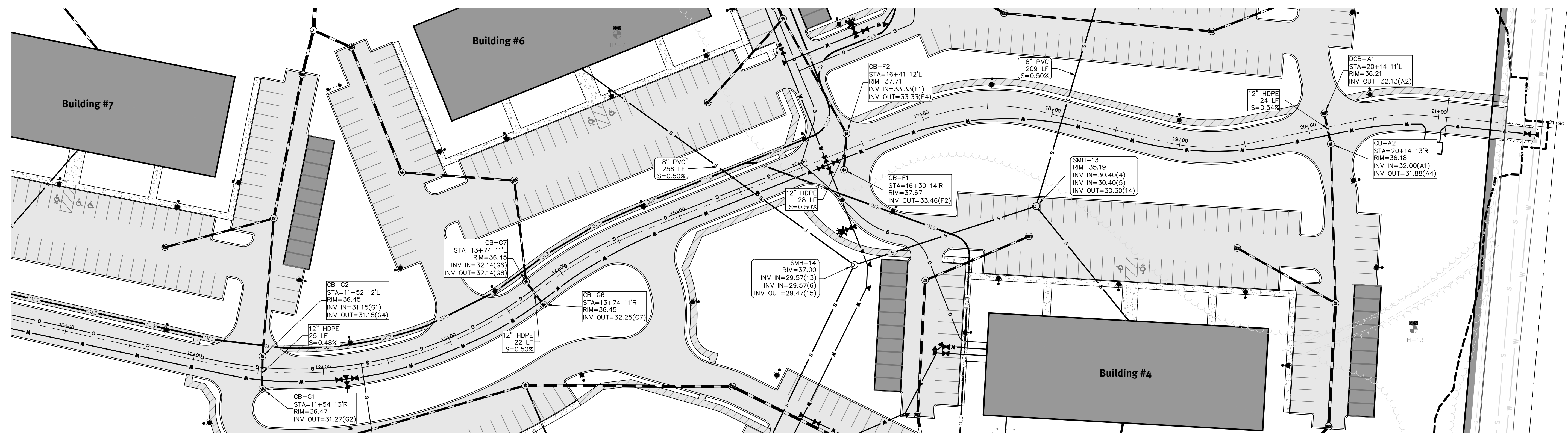
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

APPROVED BY
 ADMINISTRATIVE OFFICER
 ZONING OFFICER
 SURVEYOR'S CERTIFICATION

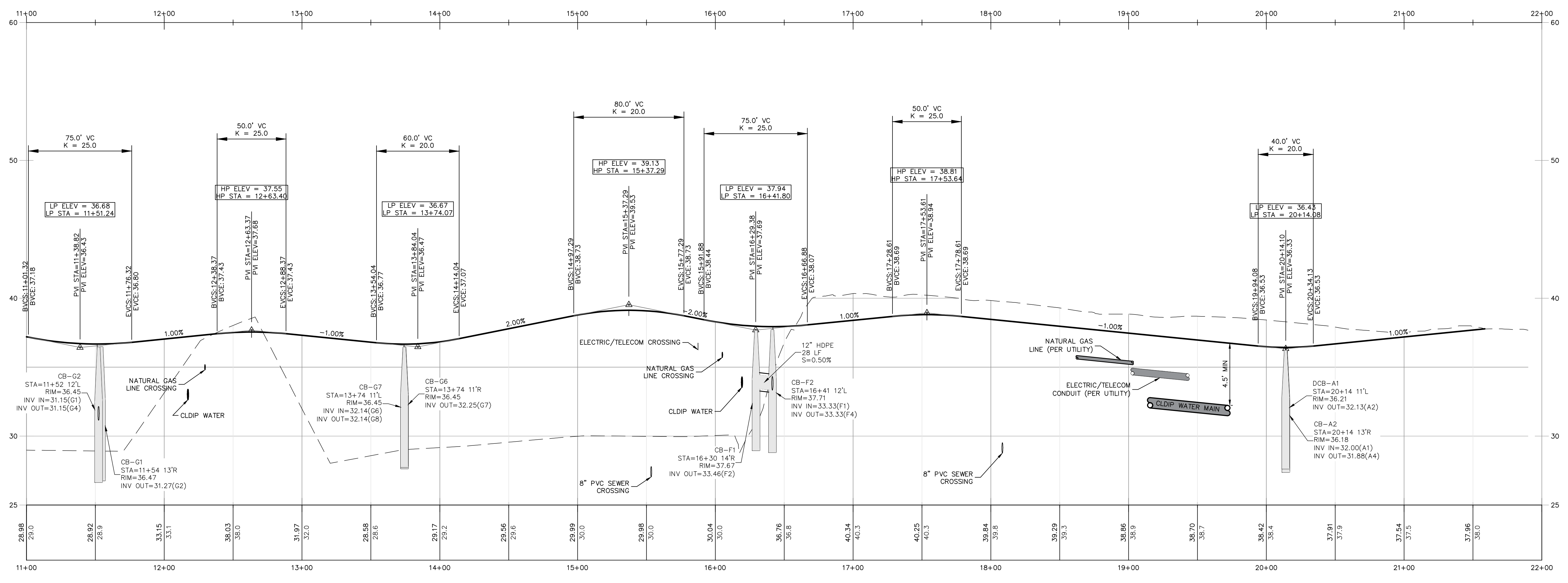
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 Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

NO.	DATE	DESCRIPTION	DESIGN BY
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2	03/03/2021	REVISION	A.S.M.
3	03/03/2021	REVISION	A.S.M.
4	04/16/2021	PRELIMINARY PLAN - RESPONSE TO COMMENTS	A.S.M.

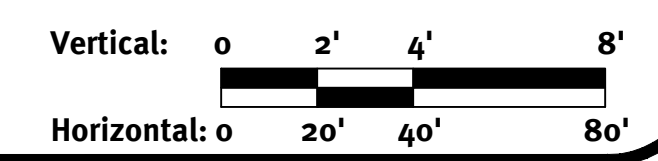
Plan and Profile - 1
Wampanoag Meadows
 Assessors Map, Block 5, Lot 10
 1270 Wampanoag Trail, East Providence, Rhode Island 02903
 Prepared For: **Driscoll Development, LLC**
 940 Quaker Lane
 Warwick, RI 02881



Plan - Road A - Sta. 11+00 - 21+90



Profile - Road A - Sta. 11+00 - 21+90



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 ZONING OFFICER
 SURVEYOR'S CERTIFICATION

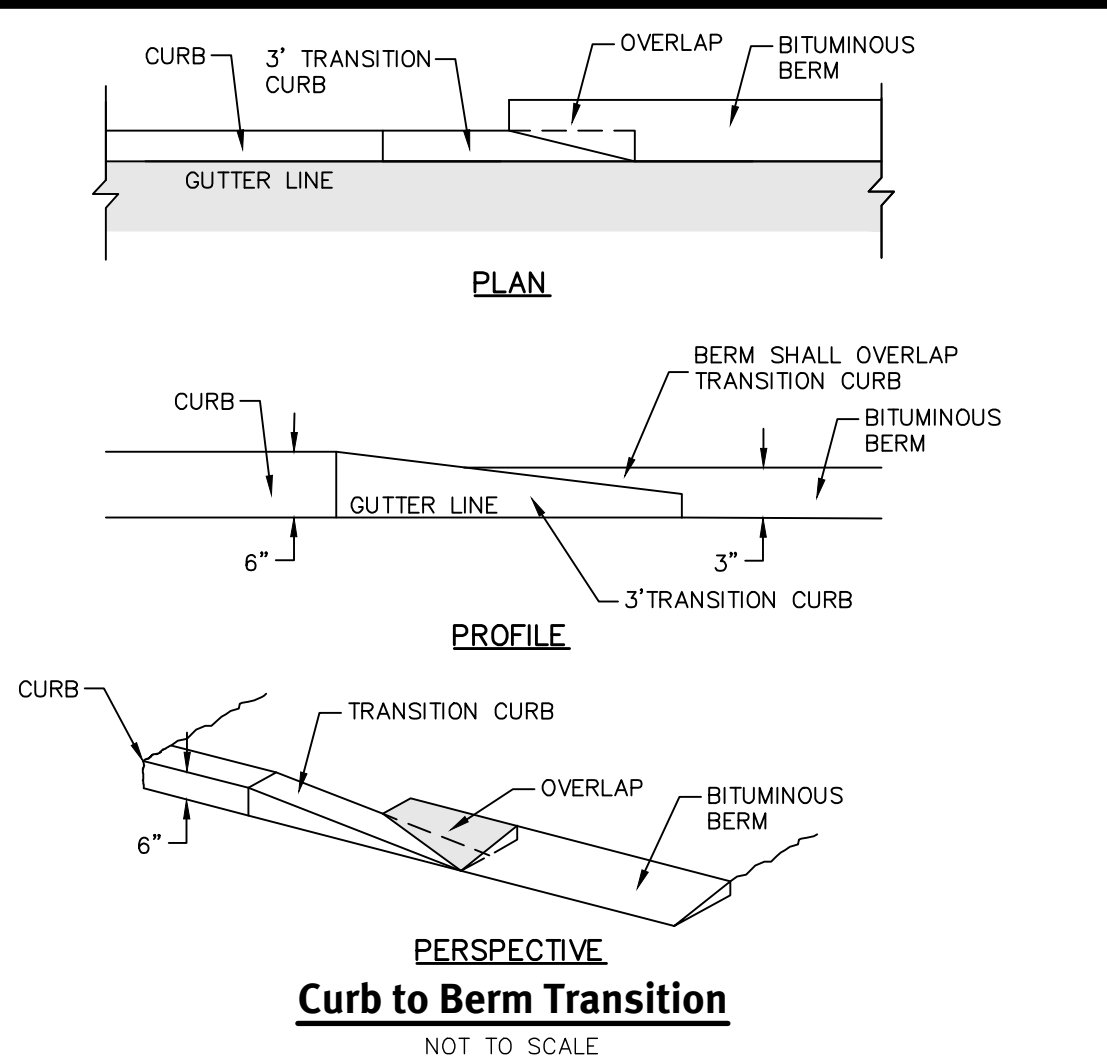
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6	09/02/2021	REVISED PLAN - COMMENTS	ASW
7	09/02/2021	REVISED PLAN - COMMENTS	ASW
8	09/02/2021	REVISED PLAN - COMMENTS	ASW
9	09/02/2021	REVISED PLAN - COMMENTS	ASW
10	09/02/2021	REVISED PLAN - COMMENTS	ASW

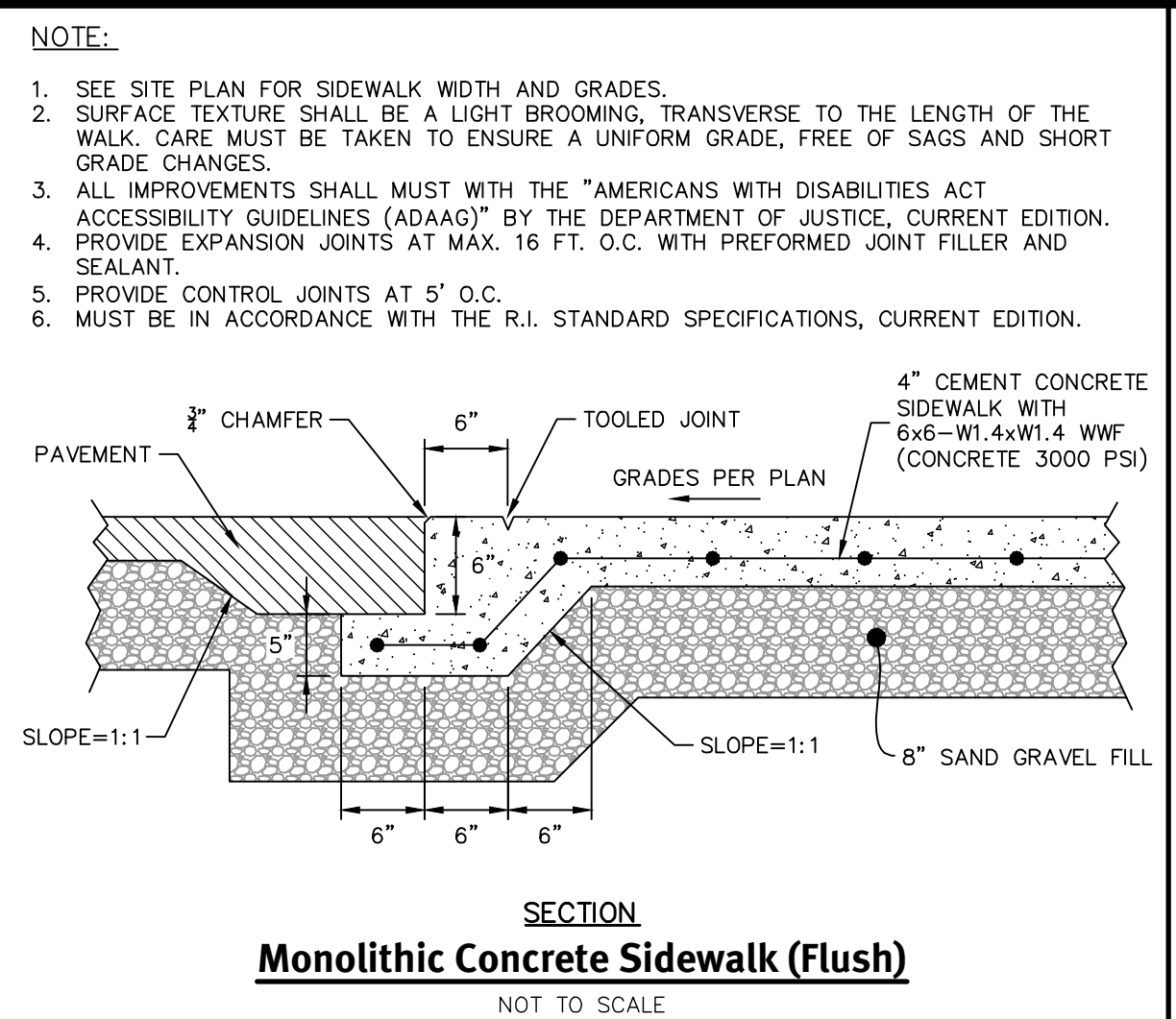
Plan and Profile - 2
Wampanoag Meadows
 Assessors Map 7th Block 3, 10
 1270 Wampanoag Trail, East Providence, Rhode Island 02903
 Prepared For: **Driscoll Development, LLC**
 940 Quaker Lane
 Warwick, RI 02888

Drawn By: A.S.M.
 Design By: A.S.M.

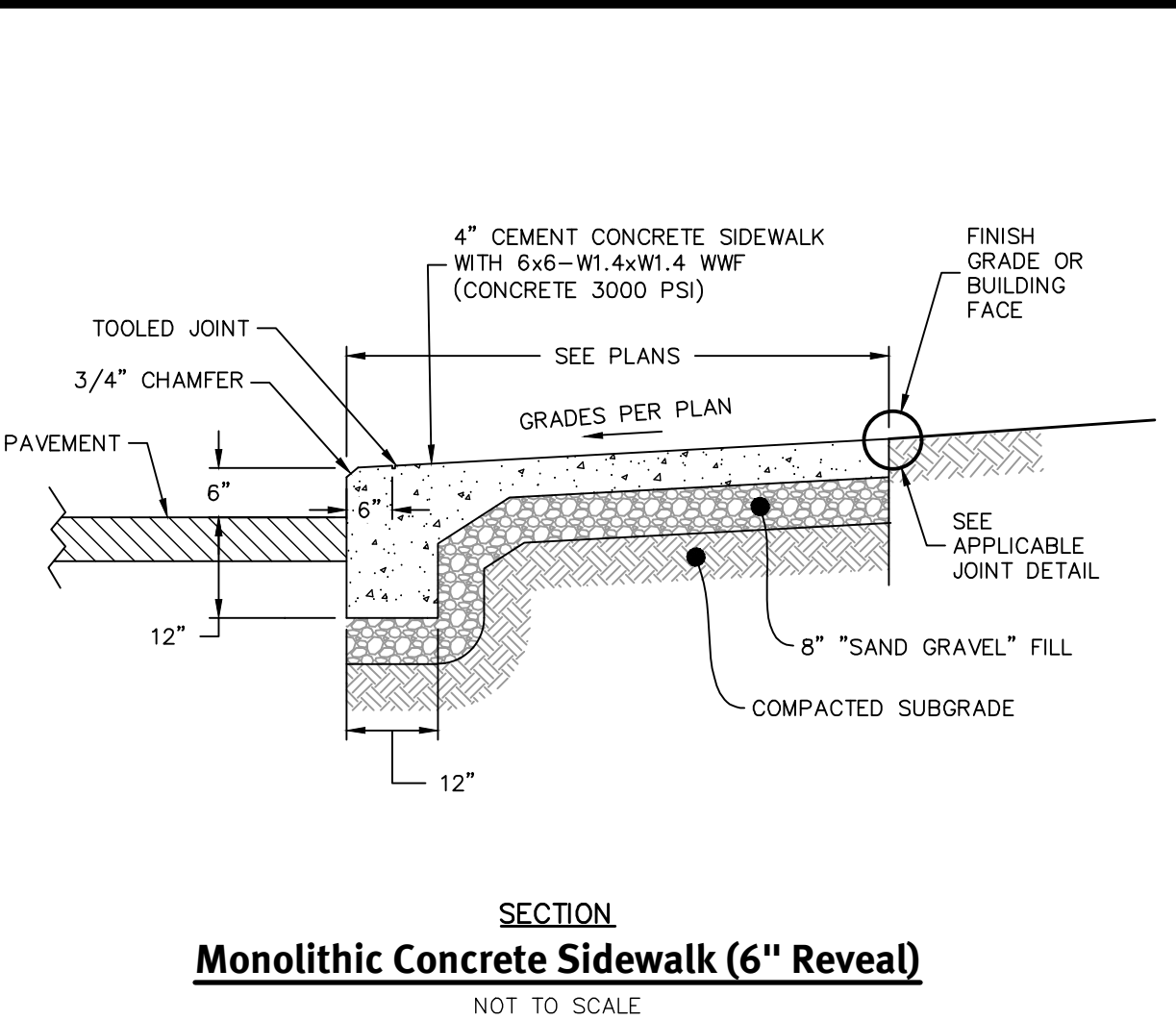
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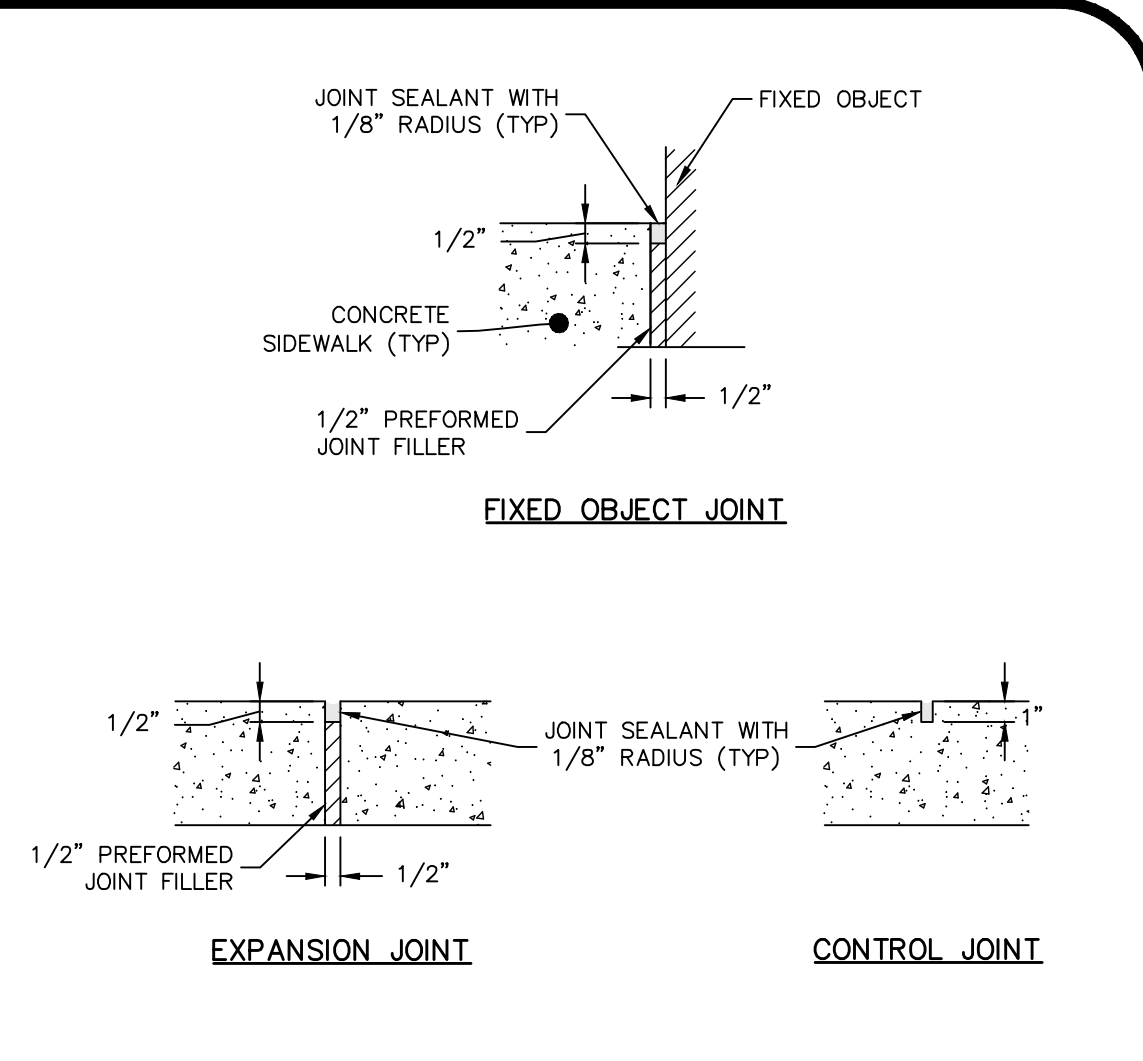
Curb to Berm Transition
NOT TO SCALE



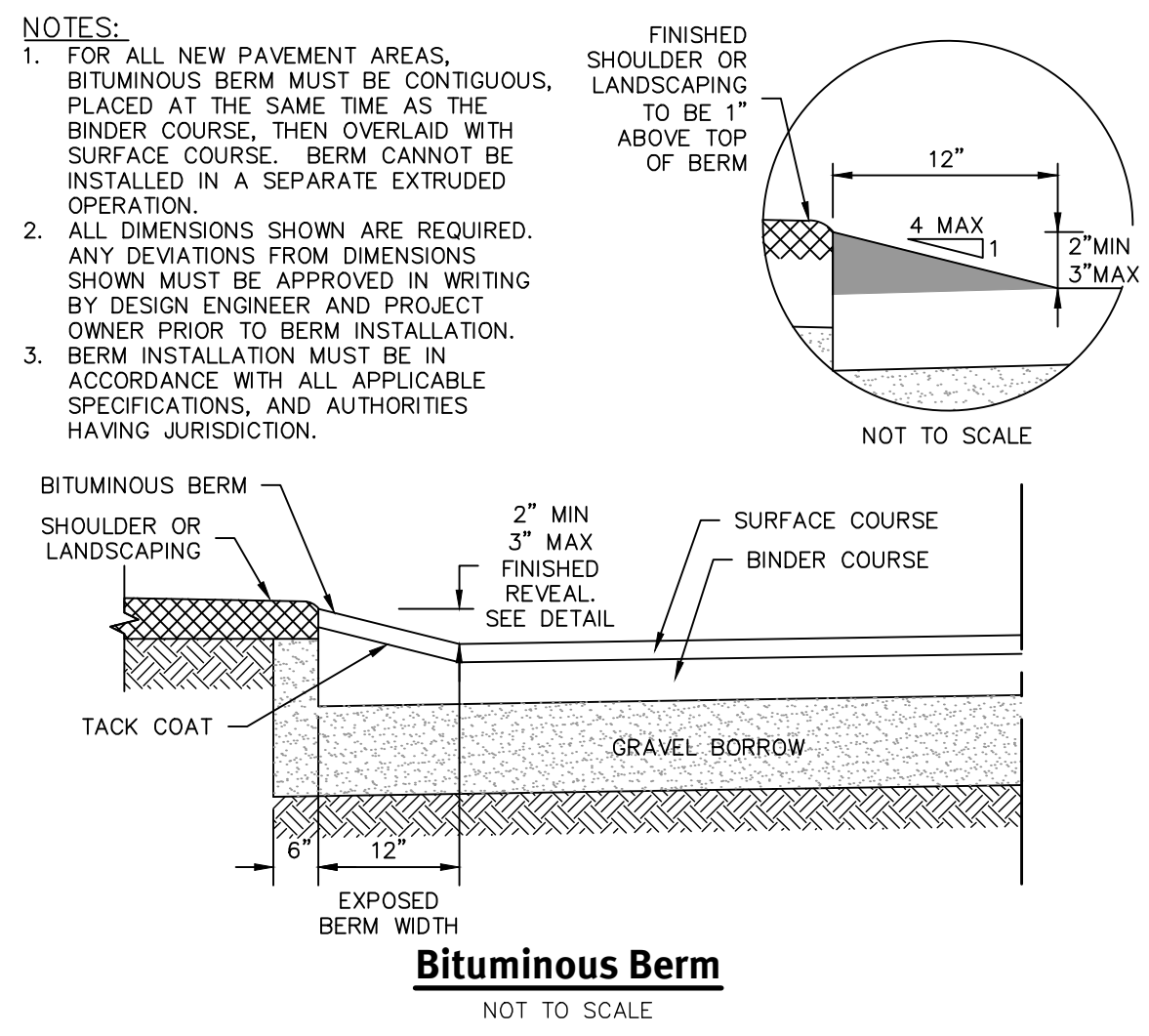
Monolithic Concrete Sidewalk (Flush)
NOT TO SCALE



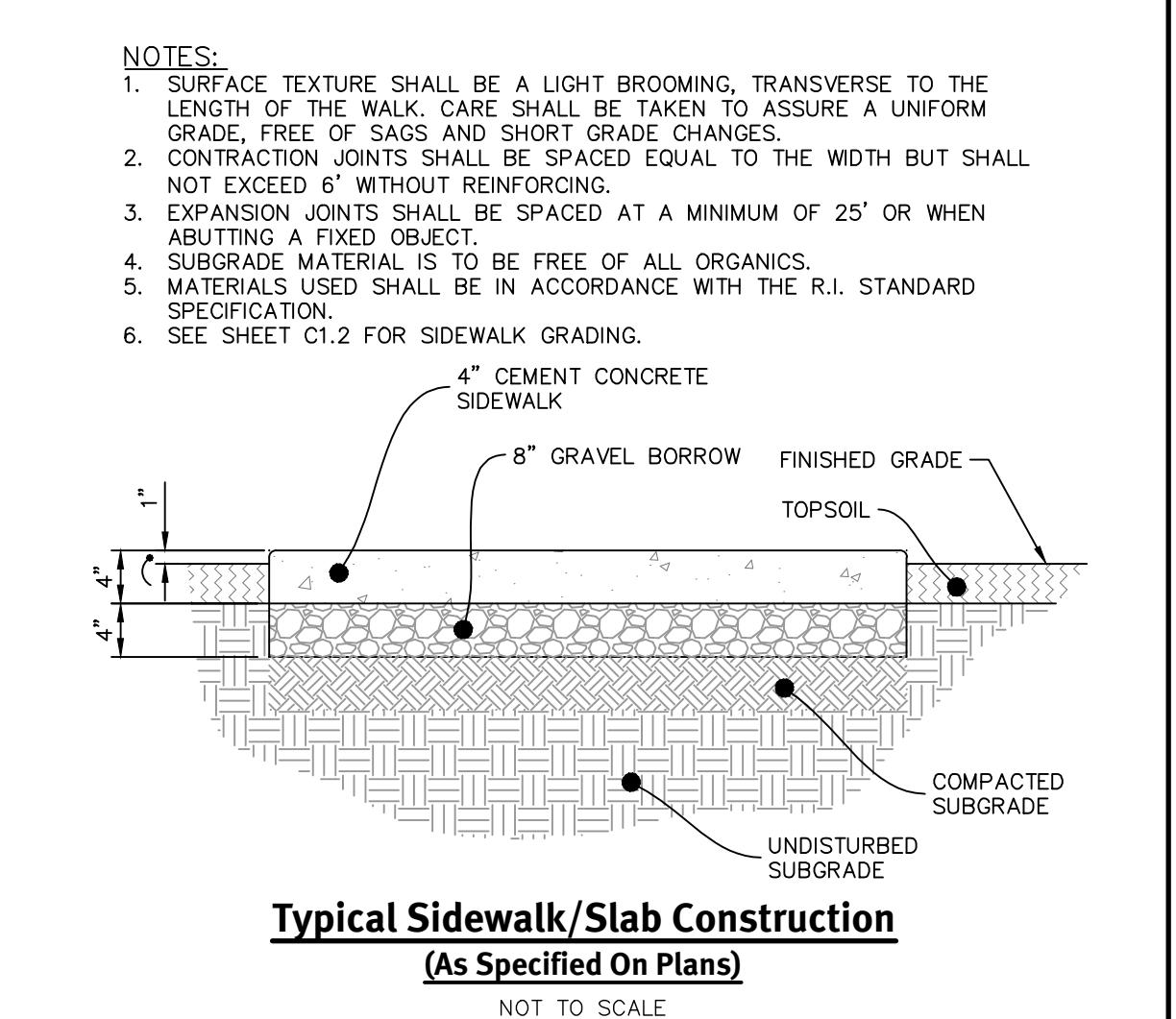
Monolithic Concrete Sidewalk (6\"/>



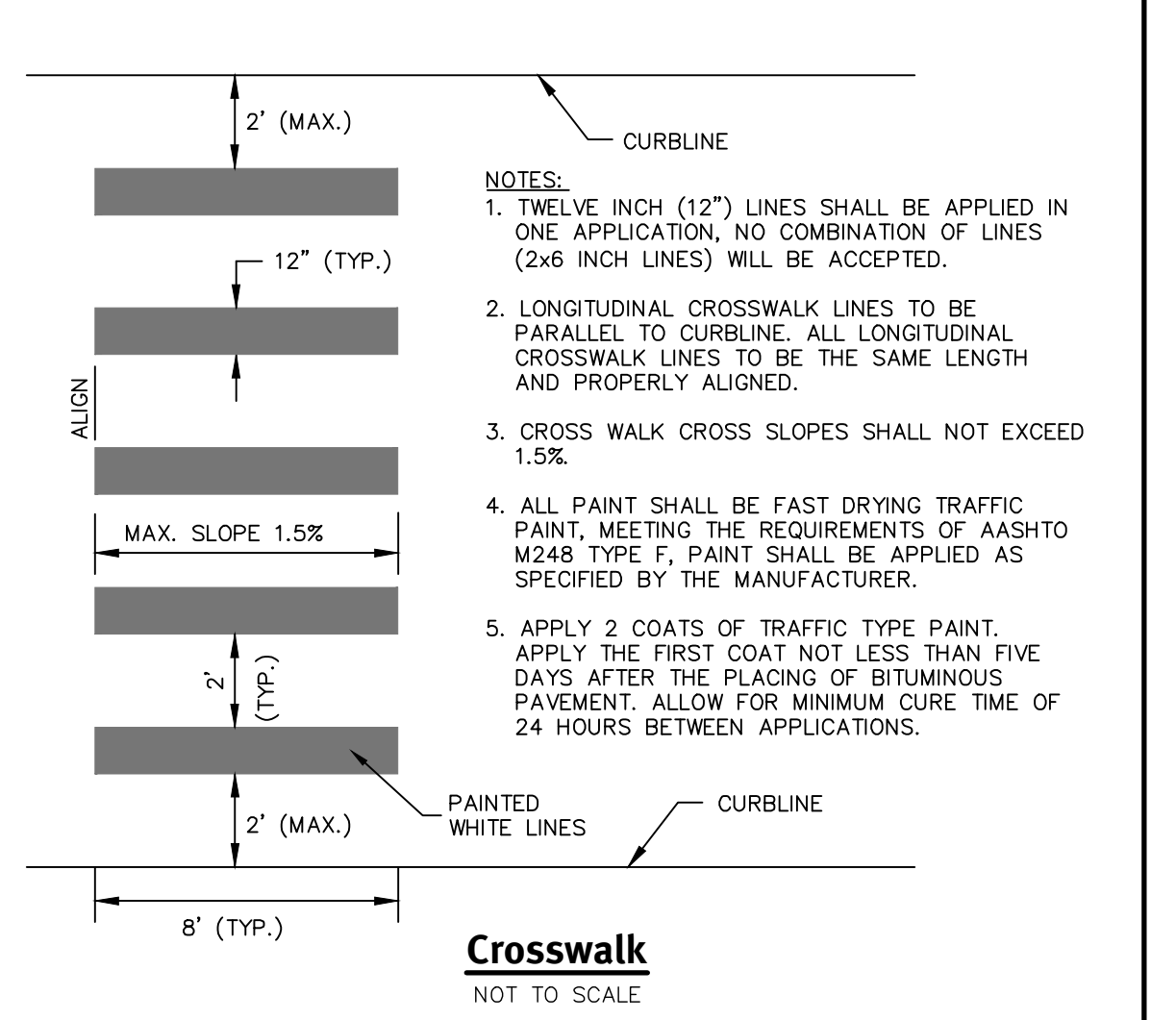
EXPANSION JOINT CONTROL JOINT



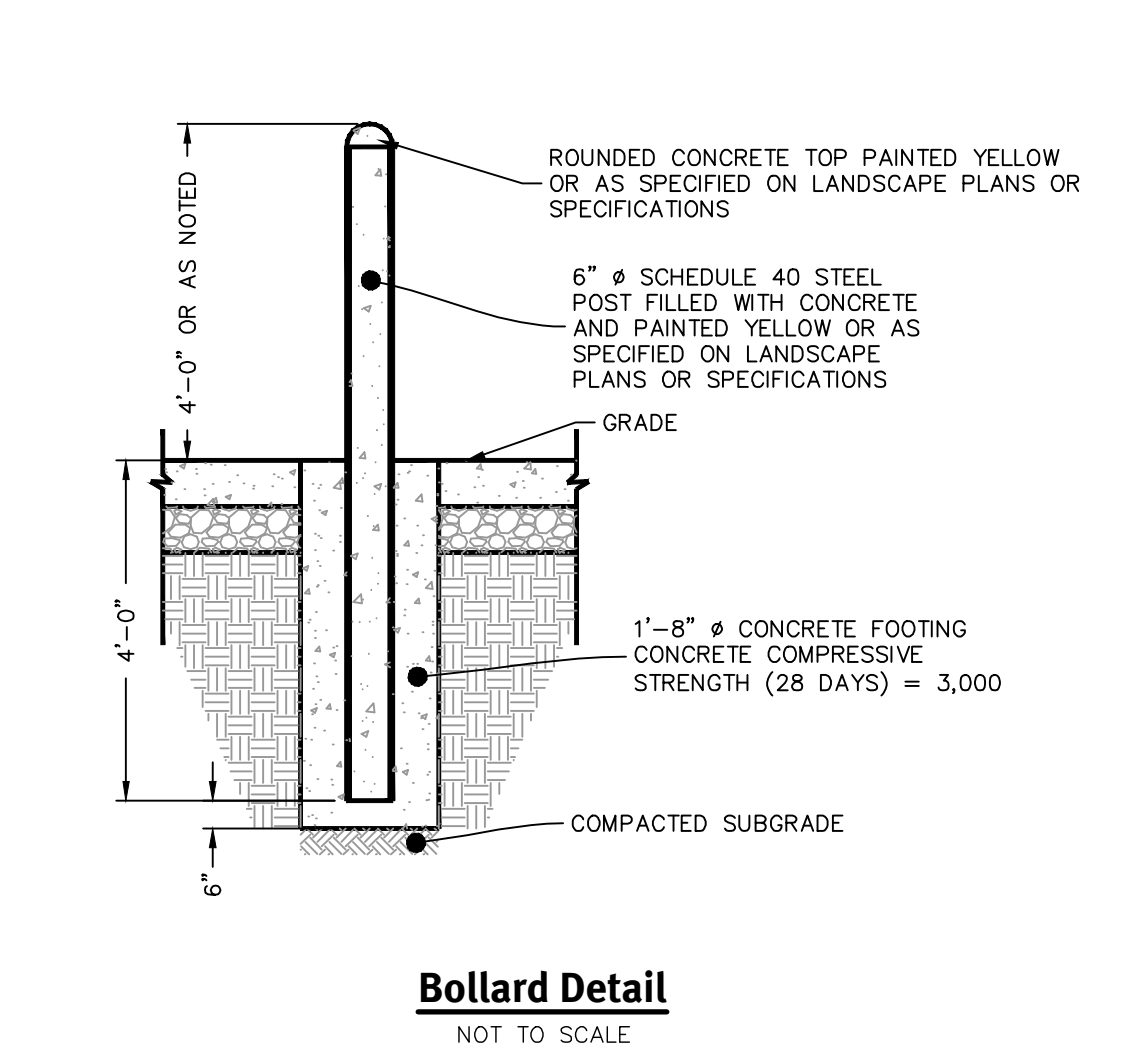
Bituminous Berm
NOT TO SCALE



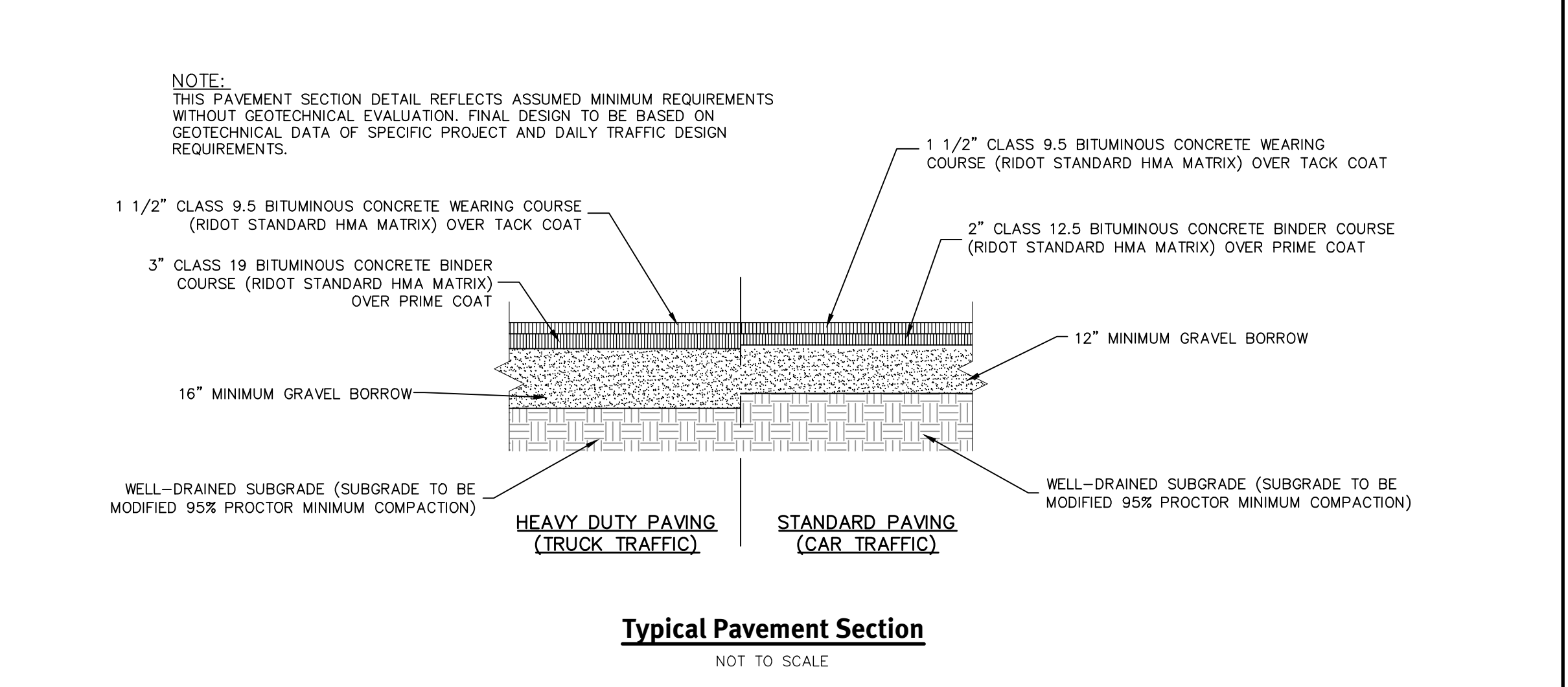
Typical Sidewalk/Slab Construction (As Specified On Plans)
NOT TO SCALE



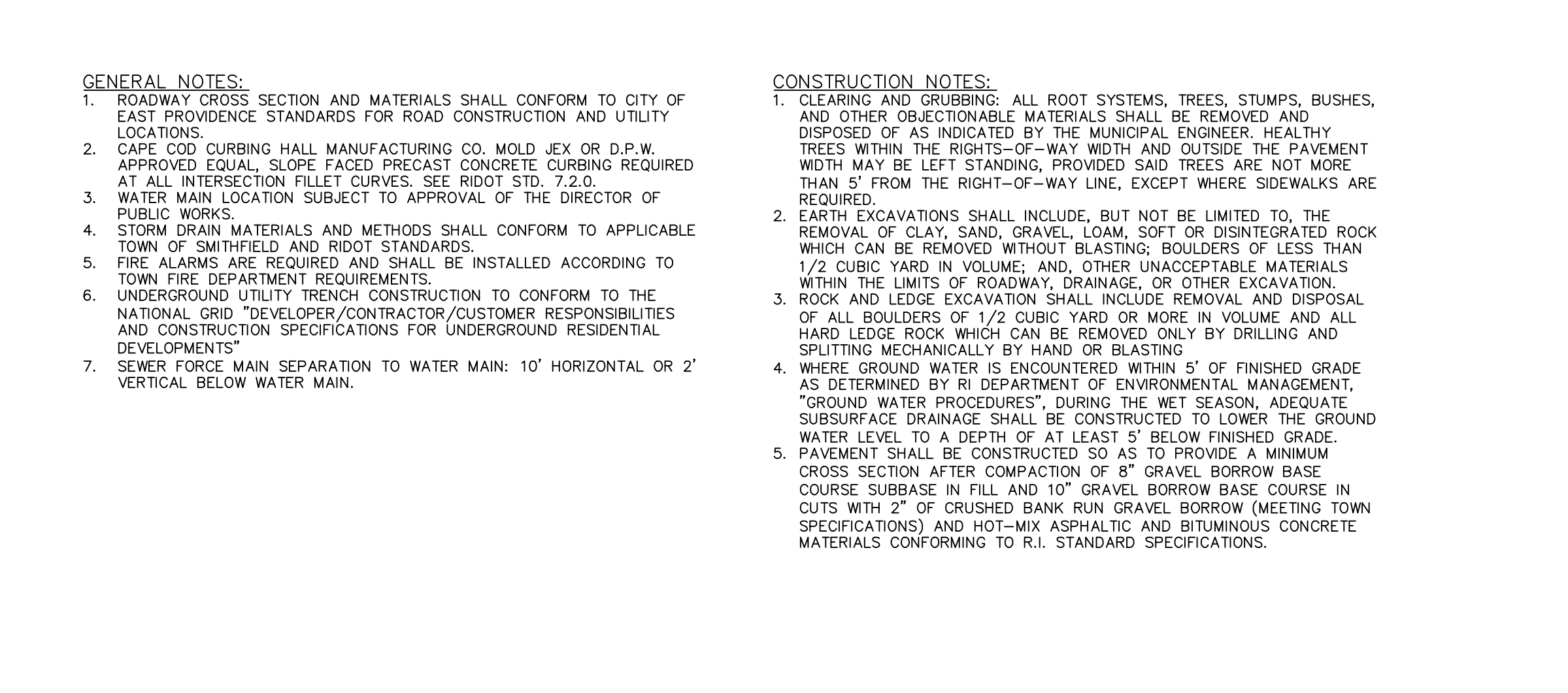
Crosswalk
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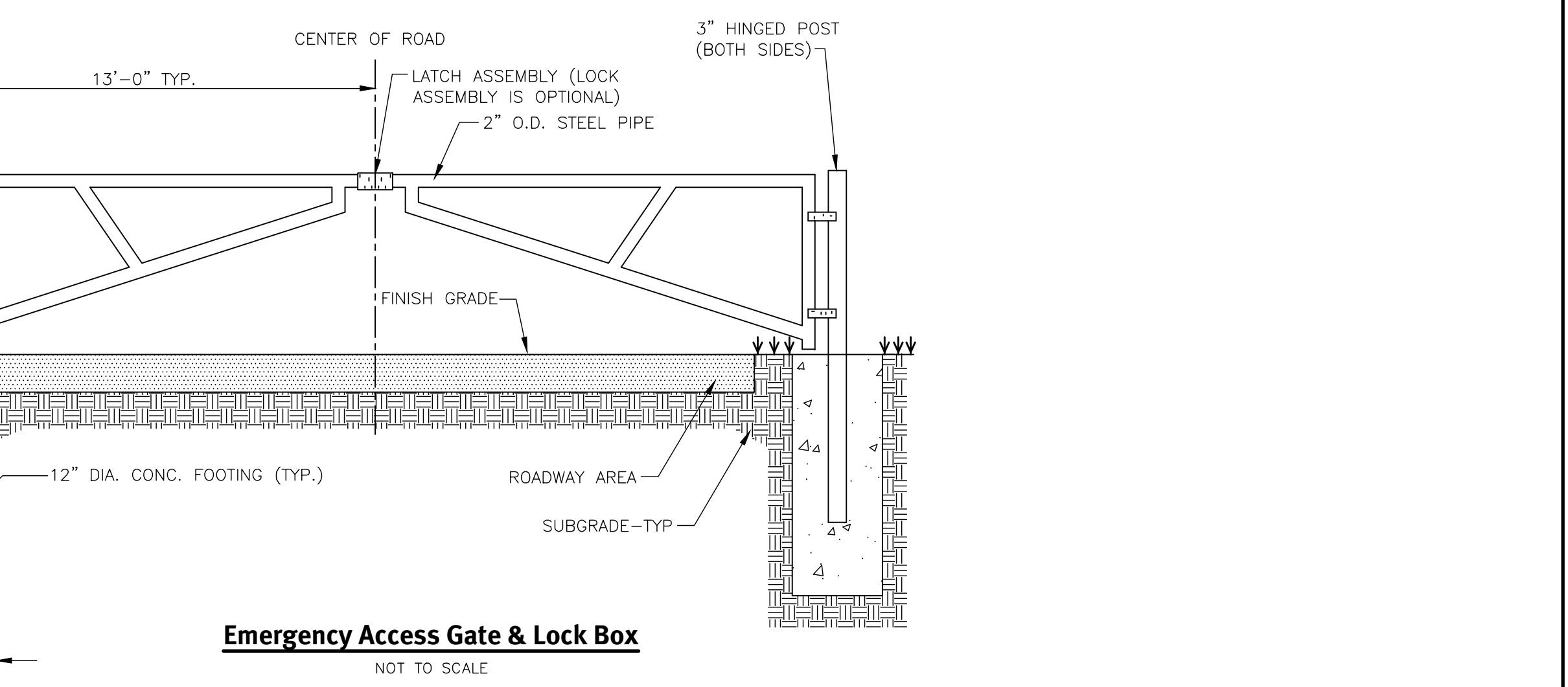
Bollard Detail
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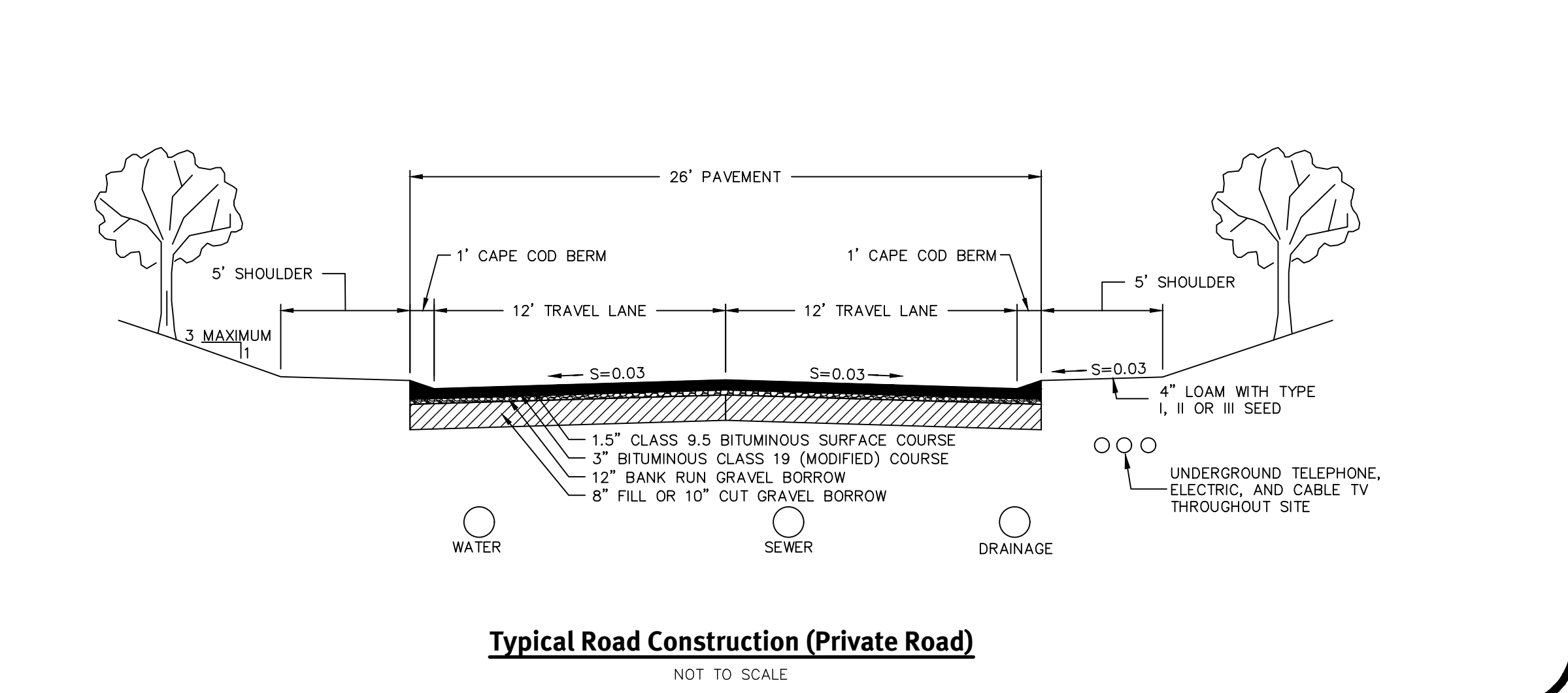
Typical Pavement Section
NOT TO SCALE



Typical Road Construction (Private Road)
NOT TO SCALE



Emergency Access Gate & Lock Box
NOT TO SCALE



KNOX BOX 5000 RECESSED MOUNT

NOTES:
1. FOR ALL NEW PAVEMENT AREAS, BITUMINOUS BERM MUST BE CONTIGUOUS, PLACED AT THE SAME TIME AS THE BINDER COURSE, THEN OVERLAID WITH SURFACE COURSE. BERM CANNOT BE INSTALLED IN A SEPARATE EXTRUDED OPERATION.
2. ALL DIMENSIONS SHOWN ARE REQUIRED. ANY DEVIATIONS FROM DIMENSIONS SHOWN MUST BE APPROVED IN WRITING BY DESIGN ENGINEER AND PROJECT OWNER PRIOR TO BERM INSTALLATION.
3. BERM INSTALLATION MUST BE IN ACCORDANCE WITH ALL APPLICABLE SPECIFICATIONS, AND AUTHORITIES HAVING JURISDICTION.

NOTES:
1. SURFACE TEXTURE SHALL BE A LIGHT BROOMING, TRANSVERSE TO THE LENGTH OF THE WALK. CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE CHANGES.
2. CONTRACTION JOINTS SHALL BE SPACED EQUAL TO THE WIDTH BUT SHALL NOT EXCEED 6' WITHOUT REINFORCING.
3. EXPANSION JOINTS SHALL BE SPACED AT A MINIMUM OF 25' OR WHEN ABUTTING A FIXED OBJECT.
4. SUBGRADE MATERIAL IS TO BE FREE OF ALL ORGANICS.
5. MATERIALS USED SHALL BE IN ACCORDANCE WITH THE R.I. STANDARD SPECIFICATION.
6. SEE SHEET C1.2 FOR SIDEWALK GRADING.

NOTES:
1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (2x6 INCH LINES) WILL BE ACCEPTED.
2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.
3. CROSS WALK CROSS SLOPES SHALL NOT EXCEED 1.5%.
4. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
5. APPLY 2 COATS OF TRAFFIC TYPE PAINT. APPLY THE FIRST COAT NOT LESS THAN FIVE DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT. ALLOW FOR MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.

CONSTRUCTION NOTES:
1. CLEARING AND GRUBBING: ALL ROOT SYSTEMS, TREES, STUMPS, BUSHES, AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED AND DISPOSED OF AS INDICATED BY THE MUNICIPAL ENGINEER. HEALTHY TREES WITHIN THE RIGHTS-OF-WAY WIDTH AND OUTSIDE THE PAVEMENT WIDTH MAY BE LEFT STANDING, PROVIDED SAID TREES ARE NOT MORE THAN 5' FROM THE RIGHT-OF-WAY LINE, EXCEPT WHERE SIDEWALKS ARE REQUIRED.
2. EARTH EXCAVATIONS SHALL INCLUDE, BUT NOT BE LIMITED TO, THE REMOVAL OF CLAY, SAND, GRAVEL, LOAM, SOFT OR DISINTEGRATED ROCK WHICH CAN BE REMOVED WITHOUT BLASTING; BOULDERS OF LESS THAN 1/2 CUBIC YARD IN VOLUME; AND, OTHER UNACCEPTABLE MATERIALS WITHIN THE LIMITS OF ROADWAY, DRAINAGE, OR OTHER EXCAVATION.
3. ROCK AND LEDGE EXCAVATION SHALL INCLUDE REMOVAL AND DISPOSAL OF ALL BOULDERS OF 1/2 CUBIC YARD OR MORE IN VOLUME, AND ALL HARD LEDGE ROCK WHICH CAN BE REMOVED ONLY BY DRILLING AND SPLITTING MECHANICALLY BY HAND OR BLASTING.
4. WHERE GROUND WATER IS ENCOUNTERED WITHIN 5' OF FINISHED GRADE AS DETERMINED BY RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, "GROUND WATER PROCEDURES", DURING THE WET SEASON, ADEQUATE SUBSURFACE DRAINAGE SHALL BE CONSTRUCTED TO LOWER THE GROUND WATER LEVEL TO A DEPTH OF AT LEAST 5' BELOW FINISHED GRADE.
5. PAVEMENT SHALL BE CONSTRUCTED SO AS TO PROVIDE A MINIMUM CROSS SECTION AFTER COMPACTION OF 8" GRAVEL BORROW BASE COURSE SUBBASE IN FILL AND 10" GRAVEL BORROW BASE COURSE IN CUTS WITH 2" OF CRUSHED BANK RUN GRAVEL BORROW (MEETING TOWN SPECIFICATIONS) AND HOT-MIX ASPHALTIC AND BITUMINOUS CONCRETE MATERIALS CONFORMING TO R.I. STANDARD SPECIFICATIONS.

NOTE:
THIS PAVEMENT SECTION DETAIL REFLECTS ASSUMED MINIMUM REQUIREMENTS WITHOUT GEOTECHNICAL EVALUATION. FINAL DESIGN TO BE BASED ON GEOTECHNICAL DATA OF SPECIFIC PROJECT AND DAILY TRAFFIC DESIGN REQUIREMENTS.

GENERAL NOTES:
1. ROADWAY CROSS SECTION AND MATERIALS SHALL CONFORM TO CITY OF EAST PROVIDENCE STANDARDS FOR ROAD CONSTRUCTION AND UTILITY LOCATIONS.
2. CAPE COD CURBING HALL MANUFACTURING CO. MOLD JEX OR D.P.W. APPROVED EQUAL, SLOPE FACED PRECAST CONCRETE CURBING REQUIRED AT ALL INTERSECTION FILLET CURVES. SEE RIDOT STD. 7.2.0.
3. WATER MAIN LOCATION SUBJECT TO APPROVAL OF THE DIRECTOR OF PUBLIC WORKS.
4. STORM DRAIN MATERIALS AND METHODS SHALL CONFORM TO APPLICABLE TOWN OF SMITHFIELD AND RIDOT STANDARDS.
5. FIRE ALARMS ARE REQUIRED AND SHALL BE INSTALLED ACCORDING TO TOWN FIRE DEPARTMENT REQUIREMENTS.
6. UNDERGROUND UTILITY TRENCH CONSTRUCTION TO CONFORM TO THE NATIONAL GRID "DEVELOPER/CONTRACTOR/CUSTOMER RESPONSIBILITIES AND CONSTRUCTION SPECIFICATIONS FOR UNDERGROUND RESIDENTIAL DEVELOPMENTS".
7. SEWER FORCE MAIN SEPARATION TO WATER MAIN: 10' HORIZONTAL OR 2' VERTICAL BELOW WATER MAIN.

CONSTRUCTION NOTES:
1. CLEARING AND GRUBBING: ALL ROOT SYSTEMS, TREES, STUMPS, BUSHES, AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED AND DISPOSED OF AS INDICATED BY THE MUNICIPAL ENGINEER. HEALTHY TREES WITHIN THE RIGHTS-OF-WAY WIDTH AND OUTSIDE THE PAVEMENT WIDTH MAY BE LEFT STANDING, PROVIDED SAID TREES ARE NOT MORE THAN 5' FROM THE RIGHT-OF-WAY LINE, EXCEPT WHERE SIDEWALKS ARE REQUIRED.
2. EARTH EXCAVATIONS SHALL INCLUDE, BUT NOT BE LIMITED TO, THE REMOVAL OF CLAY, SAND, GRAVEL, LOAM, SOFT OR DISINTEGRATED ROCK WHICH CAN BE REMOVED WITHOUT BLASTING; BOULDERS OF LESS THAN 1/2 CUBIC YARD IN VOLUME; AND, OTHER UNACCEPTABLE MATERIALS WITHIN THE LIMITS OF ROADWAY, DRAINAGE, OR OTHER EXCAVATION.
3. ROCK AND LEDGE EXCAVATION SHALL INCLUDE REMOVAL AND DISPOSAL OF ALL BOULDERS OF 1/2 CUBIC YARD OR MORE IN VOLUME, AND ALL HARD LEDGE ROCK WHICH CAN BE REMOVED ONLY BY DRILLING AND SPLITTING MECHANICALLY BY HAND OR BLASTING.
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DiPrete Engineering
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BRANDON D. CARR
REGISTERED PROFESSIONAL ENGINEER CIVIL
APPROVED BY: ADMINISTRATIVE OFFICER, ZONING OFFICER, SURVEYOR'S CERTIFICATION

This plan set must not be used for construction purposes unless stamped issued for construction and stamped by a registered professional Engineer of DiPrete Engineering.

NO.	DATE	DESCRIPTION	BY	CHKD.
1	02/07/2021	PRELIMINARY PLAN - RESPONSE TO COMMENTS	AS/M	AS/M
2	03/07/2021	RIDOT REVIEW COMMENTS	AS/M	AS/M
3	07/07/2021	RIDOT REVIEW COMMENTS	AS/M	AS/M
4	07/07/2021	RIDOT REVIEW COMMENTS	AS/M	AS/M
5	07/07/2021	RIDOT REVIEW COMMENTS	AS/M	AS/M
6	07/07/2021	RIDOT REVIEW COMMENTS	AS/M	AS/M
7	07/07/2021	RIDOT REVIEW COMMENTS	AS/M	AS/M
8	07/07/2021	RIDOT REVIEW COMMENTS	AS/M	AS/M
9	07/07/2021	RIDOT REVIEW COMMENTS	AS/M	AS/M
10	07/07/2021	RIDOT REVIEW COMMENTS	AS/M	AS/M

Design By: A.S.M.

Detail Sheet - 1

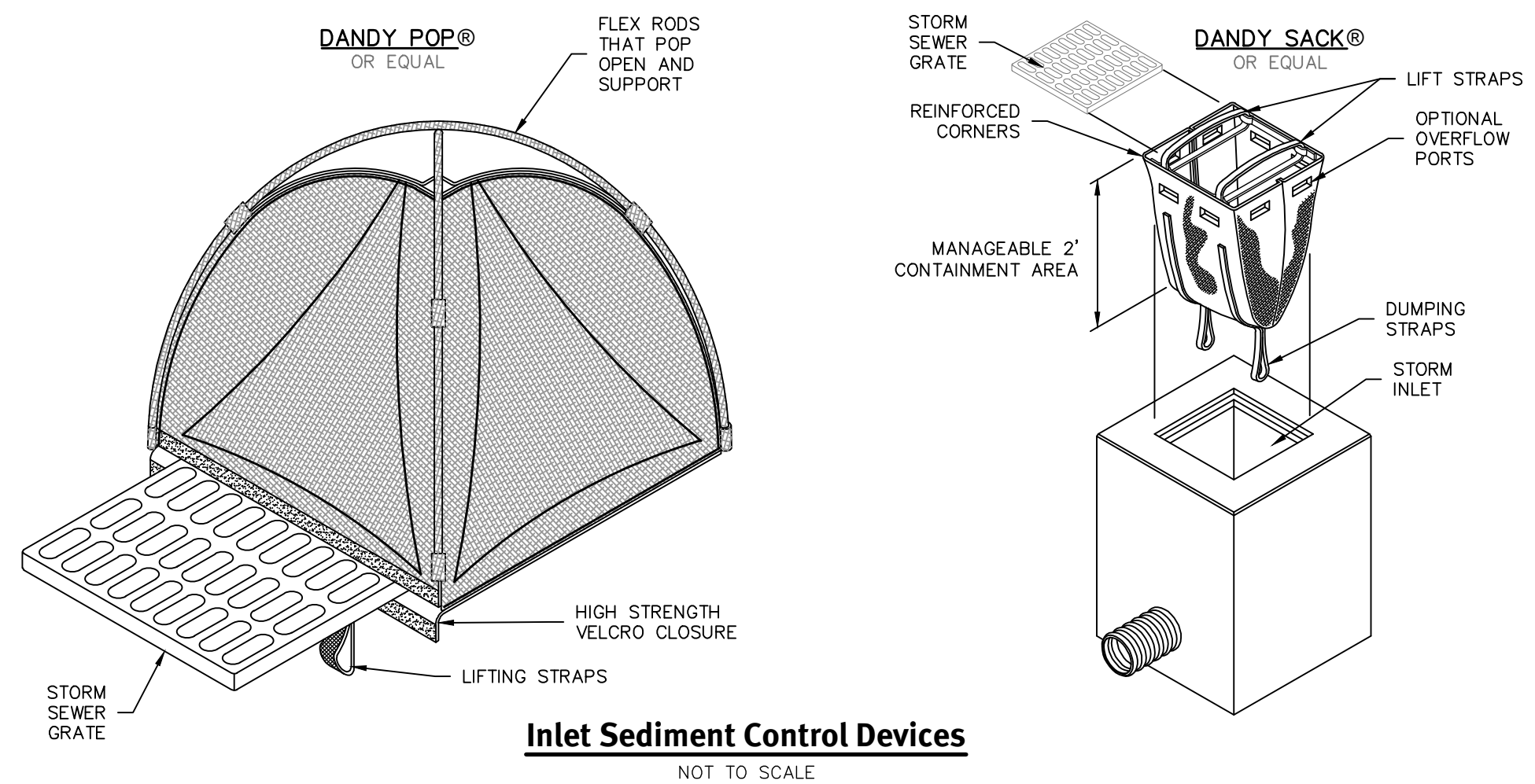
Wampanoag Meadows
Assessors for Block 1, Lot 1
1270 Wampanoag Trail, East Providence, Rhode Island 02903

Driscoll Development, LLC
940 Quaker Lane
Warwick, RI 02888

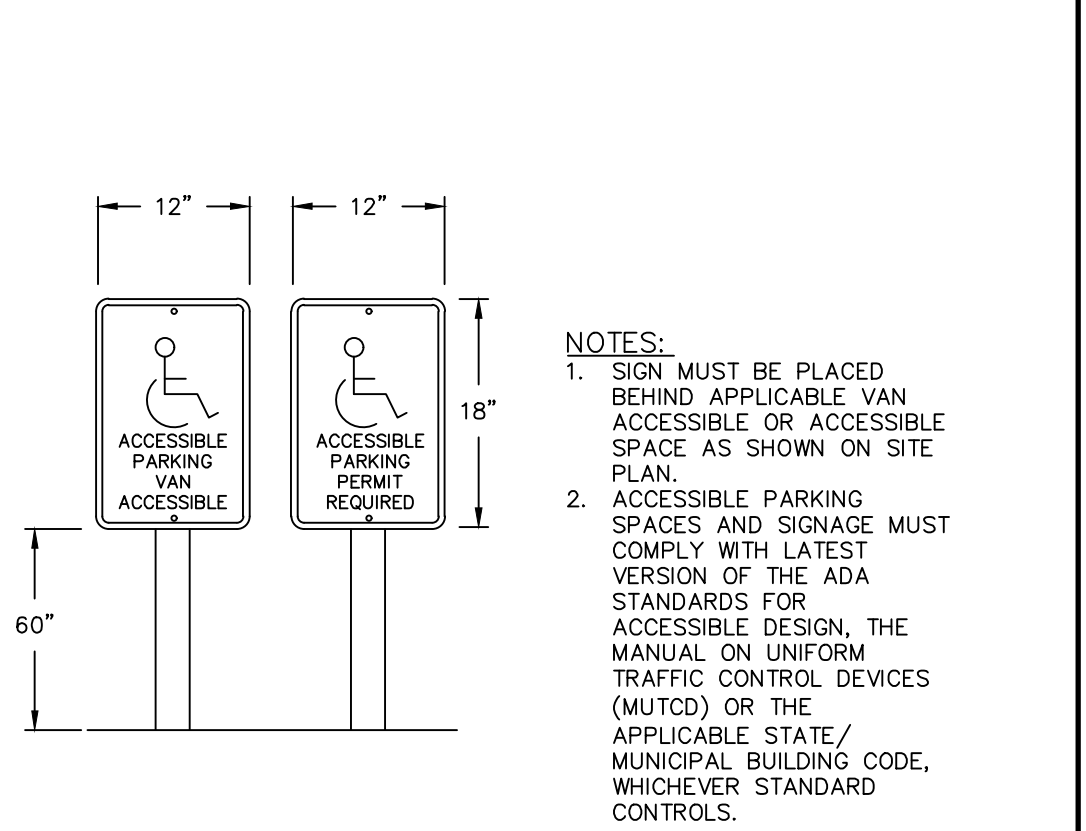
DE JOB NO: 1851-001 Copyright 2021 by DiPrete Engineering Associates, Inc.

SHEET 26 OF 29

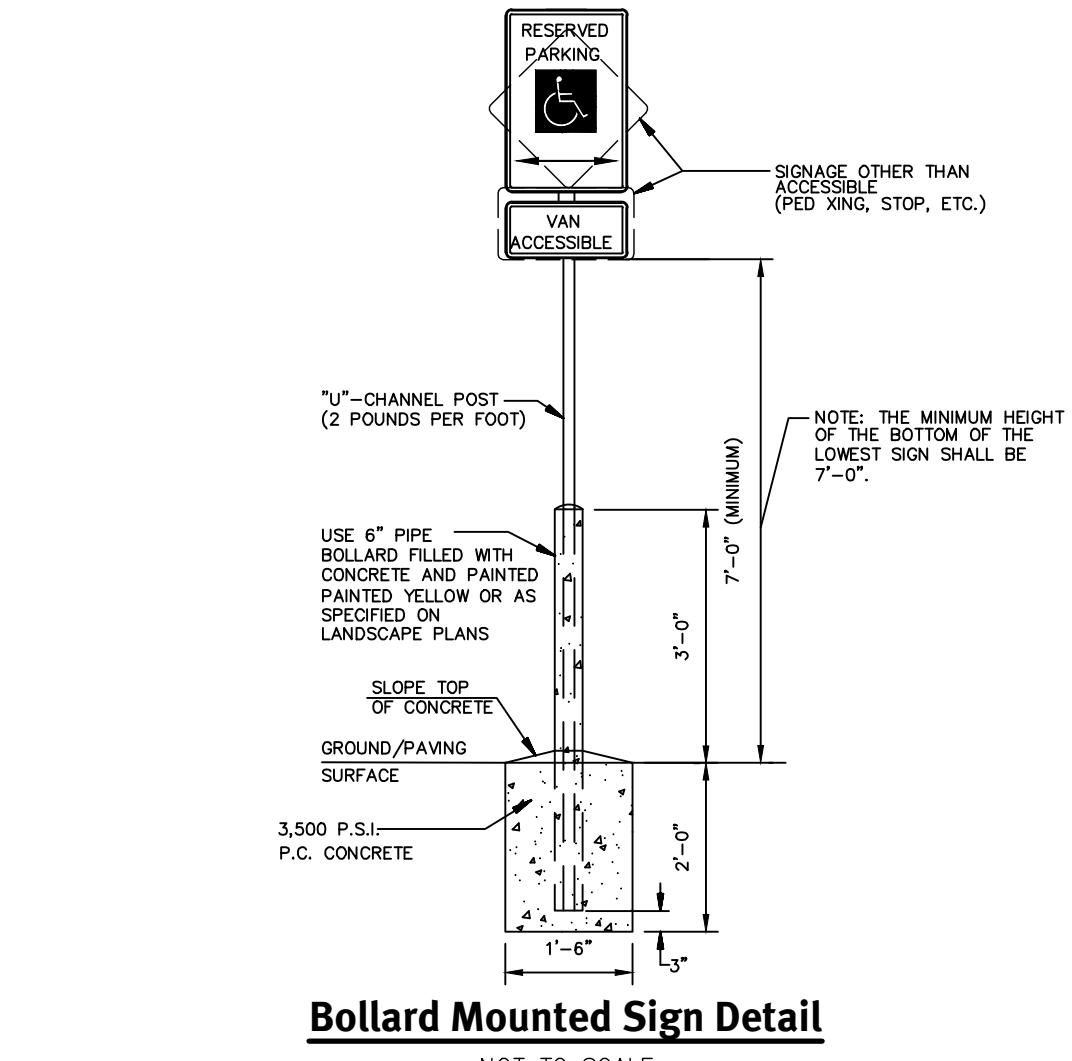
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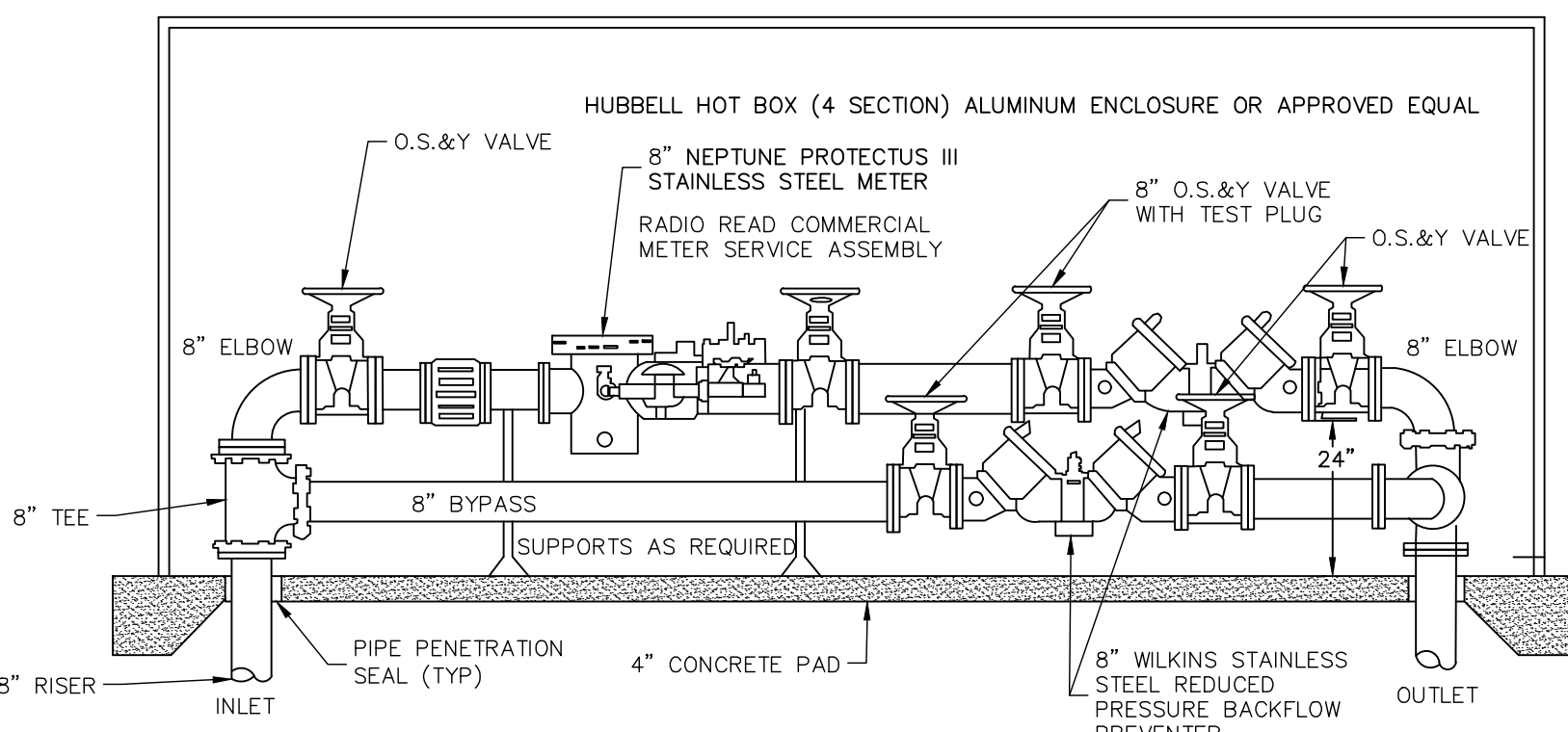
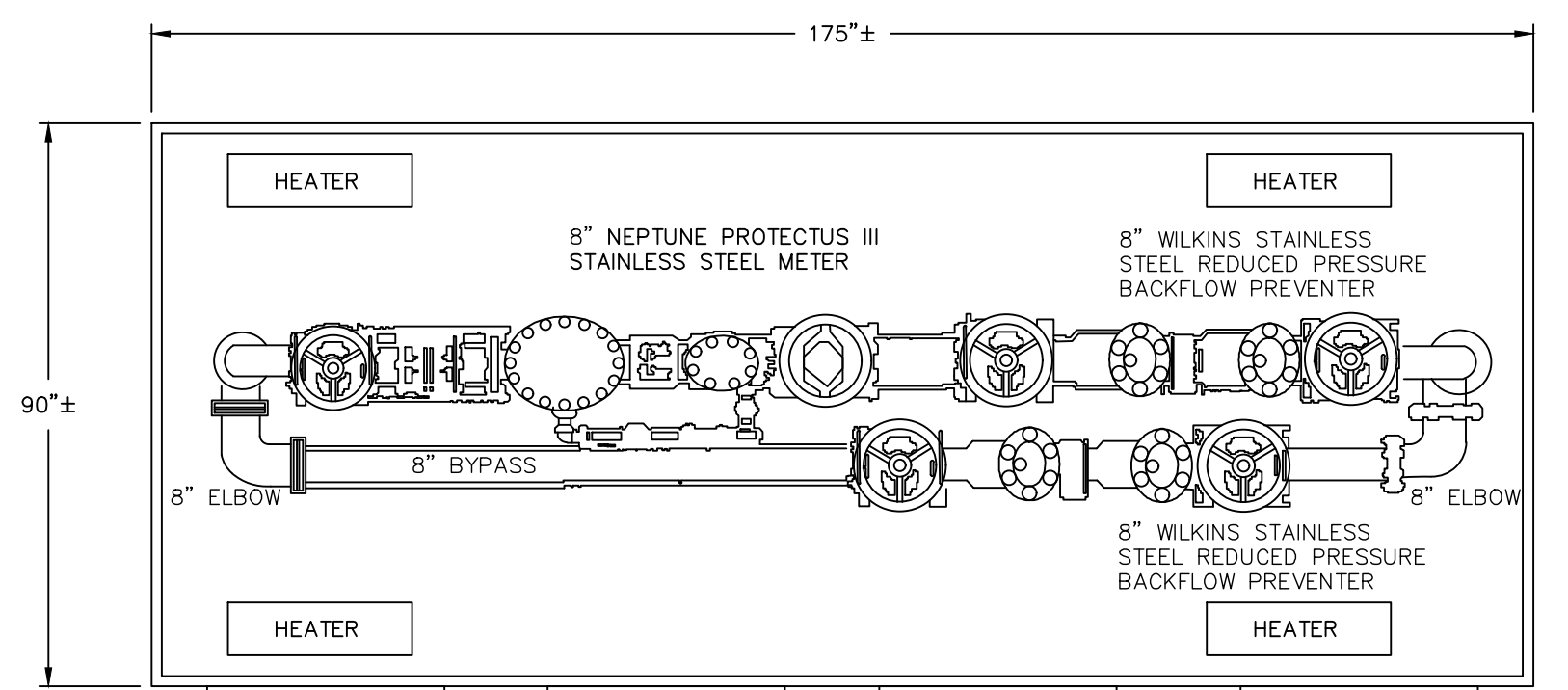
Inlet Sediment Control Devices
NOT TO SCALE



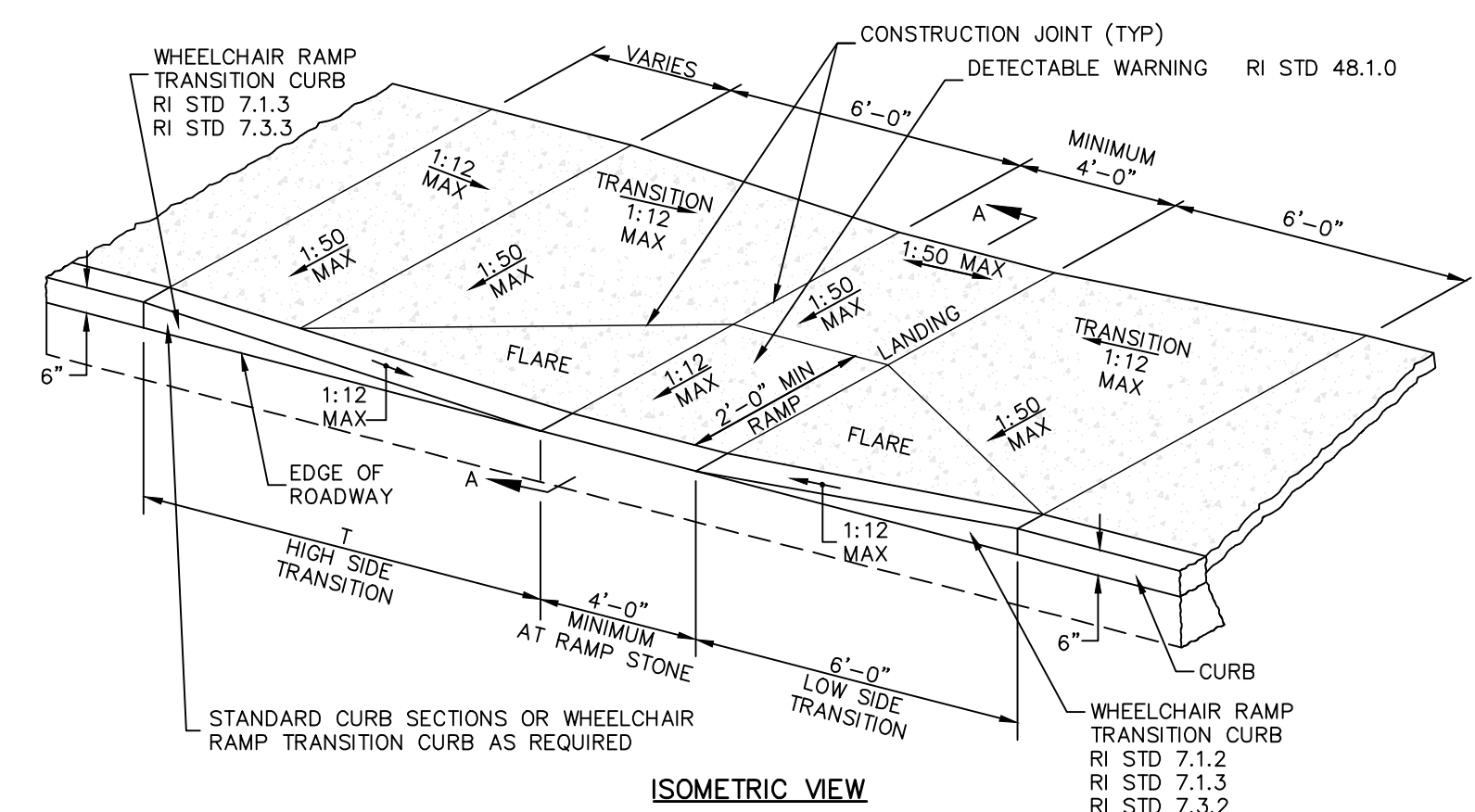
Typical Accessible Parking Post & Sign
NOT TO SCALE



Bollard Mounted Sign Detail
NOT TO SCALE



Water Meter and Enclosure Detail
NOT TO SCALE



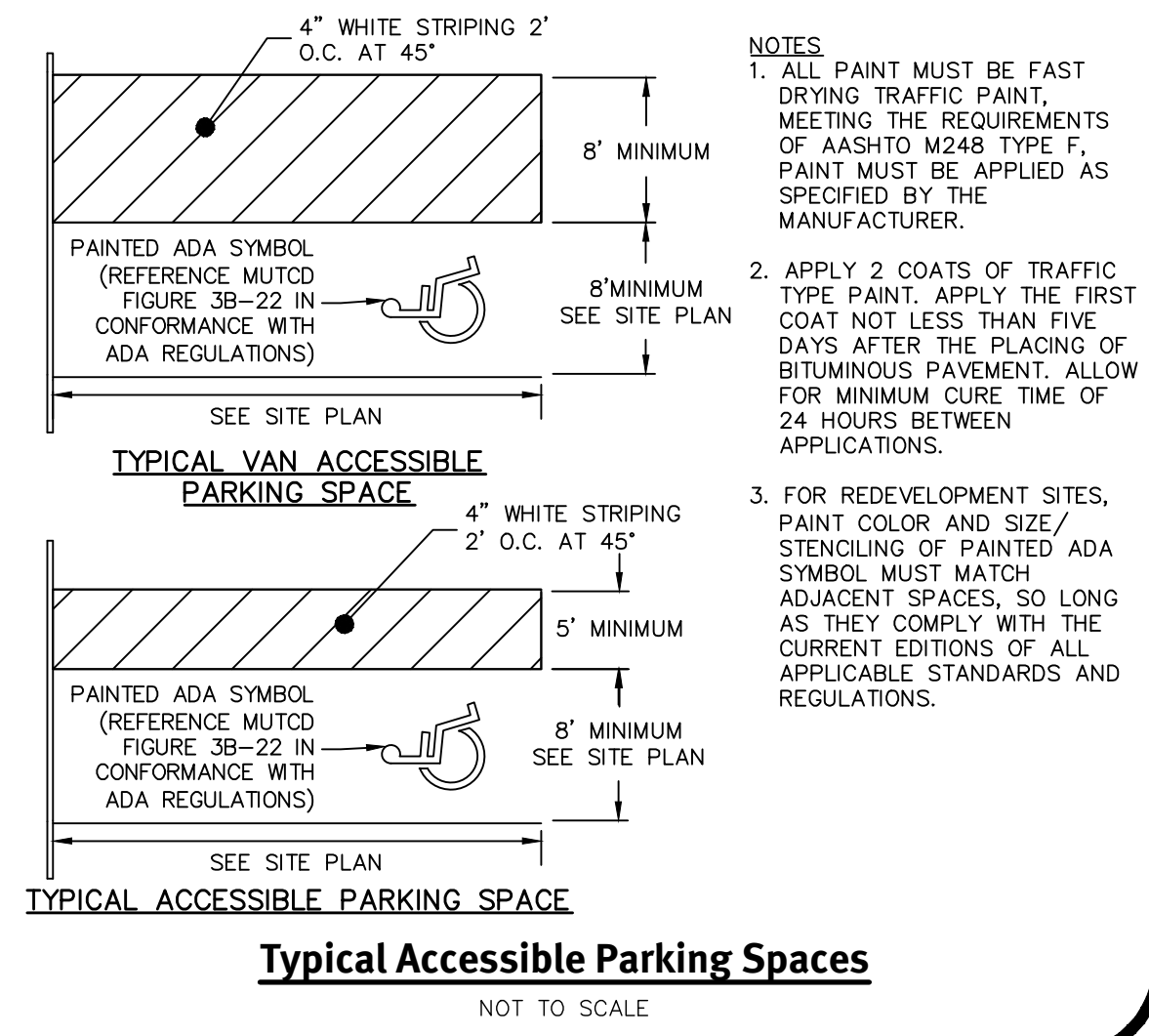
ROADWAY PROFILE GRADE	T (FT.)
0.00	7.5
0.01	9.0
0.02	11.0
0.03	13.5
0.04	19.0
0.05	30.0

- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 - WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, THE WHEELCHAIR RAMP WILL BE PLACED SUCH THAT THE OBSTRUCTION FALLS OUTSIDE OF THE RAMP.
 - AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
 - DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
 - LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
 - IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 1:50 EXCEPT WITHIN THE RAMP AREA.
 - AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 4'-0" SHALL BE MAINTAINED.
 - THE WHEELCHAIR RAMP SLOPE AND SIDE SLOPES (TRANSITIONS), MUST NOT EXCEED 1:12. HOWEVER, THESE SLOPES MAY BE FLATTER THAN 1:12 WHEN WARRANTED BY SURROUNDING CONDITIONS.
 - WHERE THE ROAD PROFILE EXCEEDS 5% THE HIGH SIDE TRANSITION LENGTH (T) SHALL BE EIGHTEEN FEET (18'-0").
 - IN NO CASE, WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED BEHIND THE STOP LINE.
 - THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
 - THE WHEELCHAIR RAMP SHALL BE CENTERED RADIALLY, OPPOSITE THE RADIUS POINT WHEN POSSIBLE.
 - MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 - ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 - DETECTABLE WARNINGS TO BE PAID FOR UNDER SECTION 942 OF THE R.I. STANDARD SPECIFICATIONS.
 - 8" CONCRETE DEPTH FOR RADIUS WHEELCHAIR RAMPS ONLY. USE 4" DEPTH FOR TANGENT (MID-BLOCK) LOCATIONS.
 - MEETS OR EXCEEDS GUIDELINES OF RIDOT STANDARD DETAIL 43.3.0.

Wheelchair Ramp (ADA)
NOT TO SCALE

Sewer Line/Water Main Separation Policy For Design Of Sanitary Sewers

- A. LATERAL PLACEMENT OF SEWERS AND WATER LINES**
- SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER LINE. THE DISTANCE SHALL BE MEASURED EDGE-TO-EDGE. THERE IS NO MINIMUM VERTICAL SEPARATION REQUIRED PROVIDED THE 10 FOOT HORIZONTAL SEPARATION IS MAINTAINED.
- STRUCTURES, OTHER THAN PIPELINES OR CONDUITS, THROUGH WHICH SANITARY WASTEWATER FLOWS SUCH AS, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, METER PITS AND PUMP STATION WET WELLS SHALL ALSO BE CONSTRUCTED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER LINE, MEASURED EDGE-TO-EDGE.
- IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE OWR MAY ALLOW DEVIATION ON A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER PIPELINES AND/OR STRUCTURES CLOSER TO A WATER LINE, PROVIDED THAT:
- THE SEWER PIPELINE AND/OR STRUCTURES AND WATER LINE ARE LAID IN SEPARATE TRENCHES, OR
 - THE SEWER PIPELINE AND/OR STRUCTURES AND WATER LINE MAY BE INSTALLED IN THE SAME TRENCH WITH THE WATER LINE PLACED ON A BENCH OF UNDISTURBED EARTH, AND
 - IN EITHER CASE, THE CROWN OF THE SEWER PIPELINE SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER LINE.
- IN SITUATIONS WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, THE FOLLOWING PROTECTION SHALL BE PROVIDED:
- ENCASEMENT OF THE SEWER PIPELINE IN CONCRETE (MIN. 6 INCH THICKNESS) OR A CARRIER PIPE FOR AT LEAST 10 FEET EITHER SIDE OF THE AREA NOT COMPLYING WITH THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION, OR
 - THE DESIGN AND CONSTRUCTION OF THE SEWER PIPELINE MUST MEET THE REQUIREMENTS APPLICABLE TO WATER LINES (ANY ANWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE), AND PRESSURE TESTED IN ACCORDANCE WITH ANWA SPECIFICATIONS, OR
 - IN INSTANCES OF CONFLICT WITH SANITARY WASTEWATER STRUCTURES MENTIONED ABOVE, RELOCATE THE WATER LINE TO ACHIEVE EITHER A 10 FOOT HORIZONTAL OR 18 INCH VERTICAL SEPARATION.
- B. SEWERS CROSSING WATER LINES**
- SEWERS CROSSING OVER WATER LINES SHOULD BE AVOIDED, BUT IF CONDITIONS WARRANT THIS SITUATION, THEN ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE. SEWERS CROSSING UNDER WATER LINES SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE WATER LINE AND THE CROWN OF THE SEWER. RELOCATION OF AN EXISTING WATER LINE MAY BE NECESSARY TO ACHIEVE THIS VERTICAL SEPARATION. RELOCATED WATER LINES SHALL BE CONSTRUCTED OF AN ANWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE AND DESIGNED FOR THE REQUIRED WATER SERVICE PRESSURE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER LINE JOINTS.
- WHERE CONDITIONS PREVENT AN 18 INCH VERTICAL SEPARATION FROM BEING MAINTAINED, THE FOLLOWING METHODS SHALL BE SPECIFIED:
- THE DESIGN AND CONSTRUCTION OF THE SEWER MUST MEET THE REQUIREMENTS APPLICABLE TO WATER LINES (ANY ANWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE) FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER LINE AND PRESSURE TESTED IN ACCORDANCE WITH ANWA SPECIFICATIONS, OR
 - EITHER THE WATER LINE OR THE SEWER MAY BE ENCASED IN CONCRETE (MIN. 6 INCH THICKNESS) OR A CARRIER PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER LINE. THE CARRIER PIPE SHALL BE DESIGNED AND CONSTRUCTED OF MATERIALS WHICH ARE SATISFACTORY TO THE OWR, OR
 - ANY OTHER METHODS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER, WHICH ENSURE ADEQUATE WATERTIGHTNESS AND ARE SATISFACTORY TO THE OWR.



Typical Accessible Parking Spaces
NOT TO SCALE

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BRANDON D. CARR
REGISTERED PROFESSIONAL ENGINEER CIVIL

APPROVED BY
ADMINISTRATIVE OFFICER
ZONING OFFICER
SURVEYORS' CERTIFICATION

This plan set must not be used for construction purposes unless stamped, issued for construction and stamped by a registered professional engineer of DiPrete Engineering.
The contractor is responsible for all of the means, methods, safety and implementation of this plan and design.
Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

NO.	DATE	DESCRIPTION	BY	CHKD.
4	04/07/2021	Preliminary Plan - Response to Comments	AS/M	AS/M
3	03/29/2021	RDOT Review of Comments	AS/M	AS/M
2	02/26/2021	RDOT Review of Comments	AS/M	AS/M
1	02/26/2021	RDOT Submission	AS/M	AS/M
0	02/26/2021	RDOT Submission	AS/M	AS/M

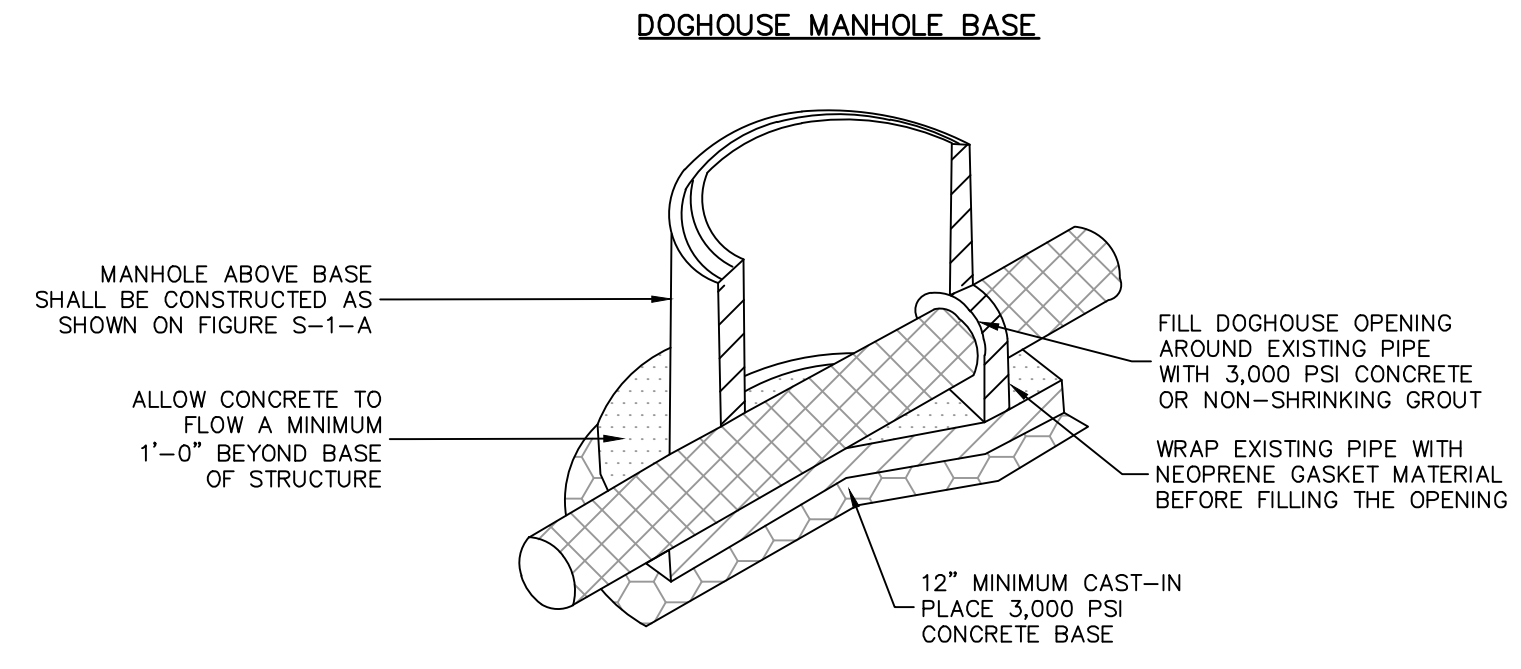
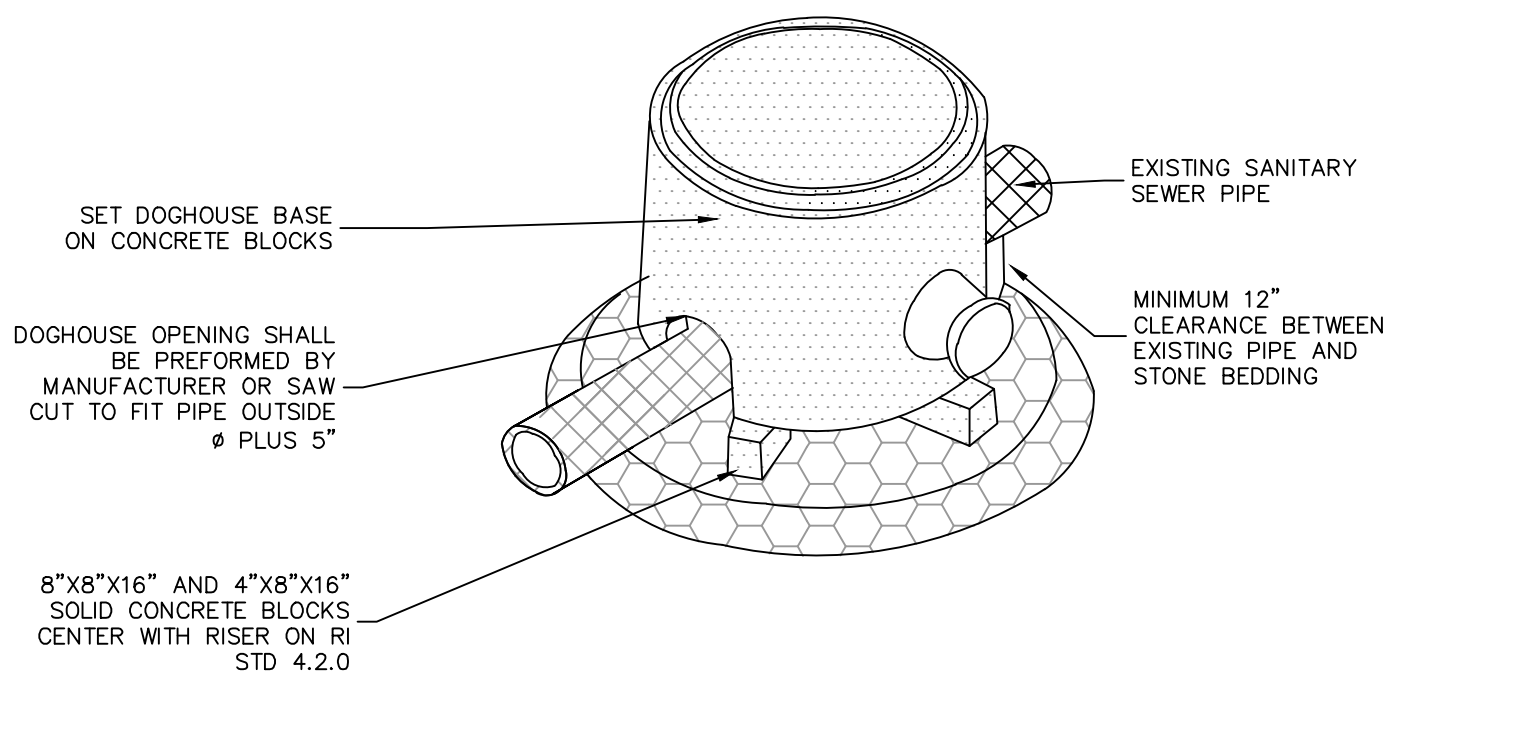
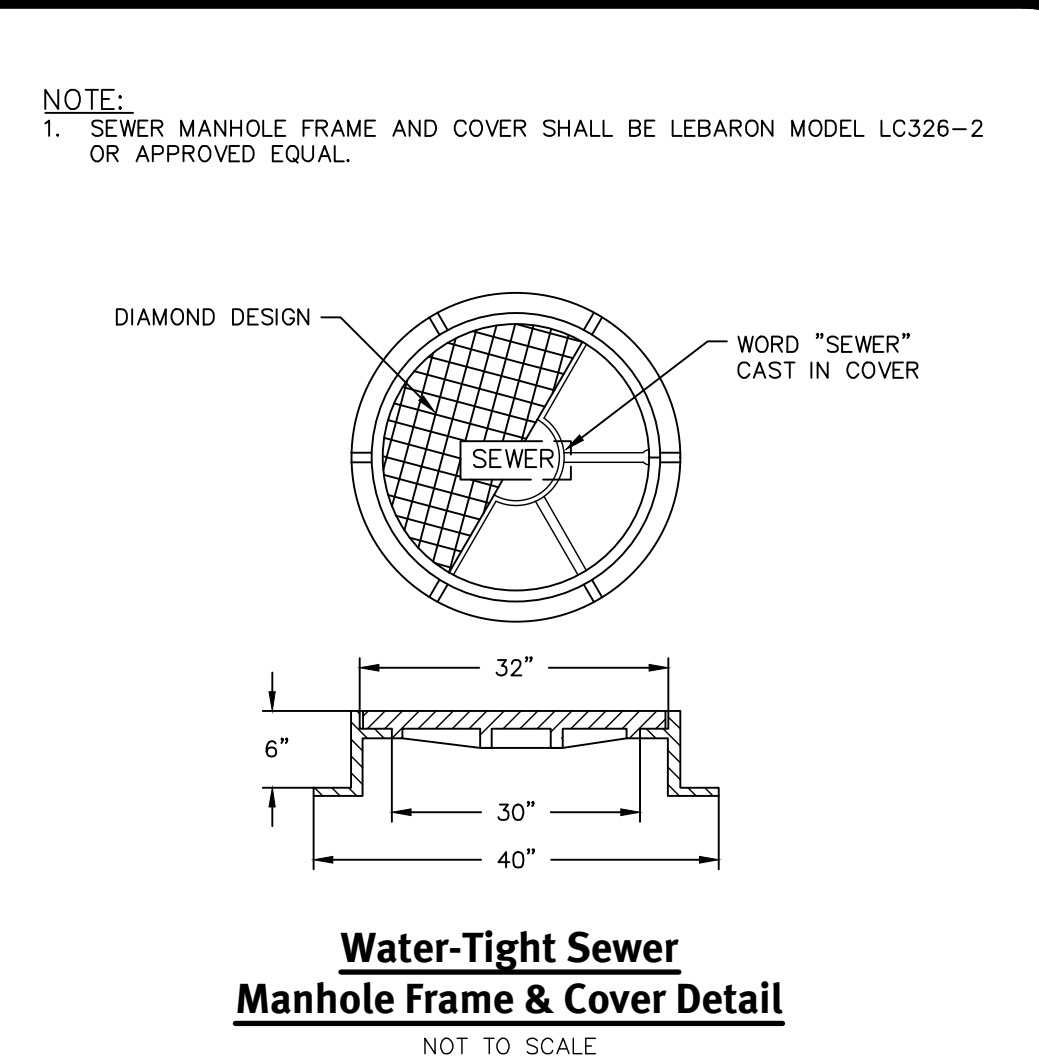
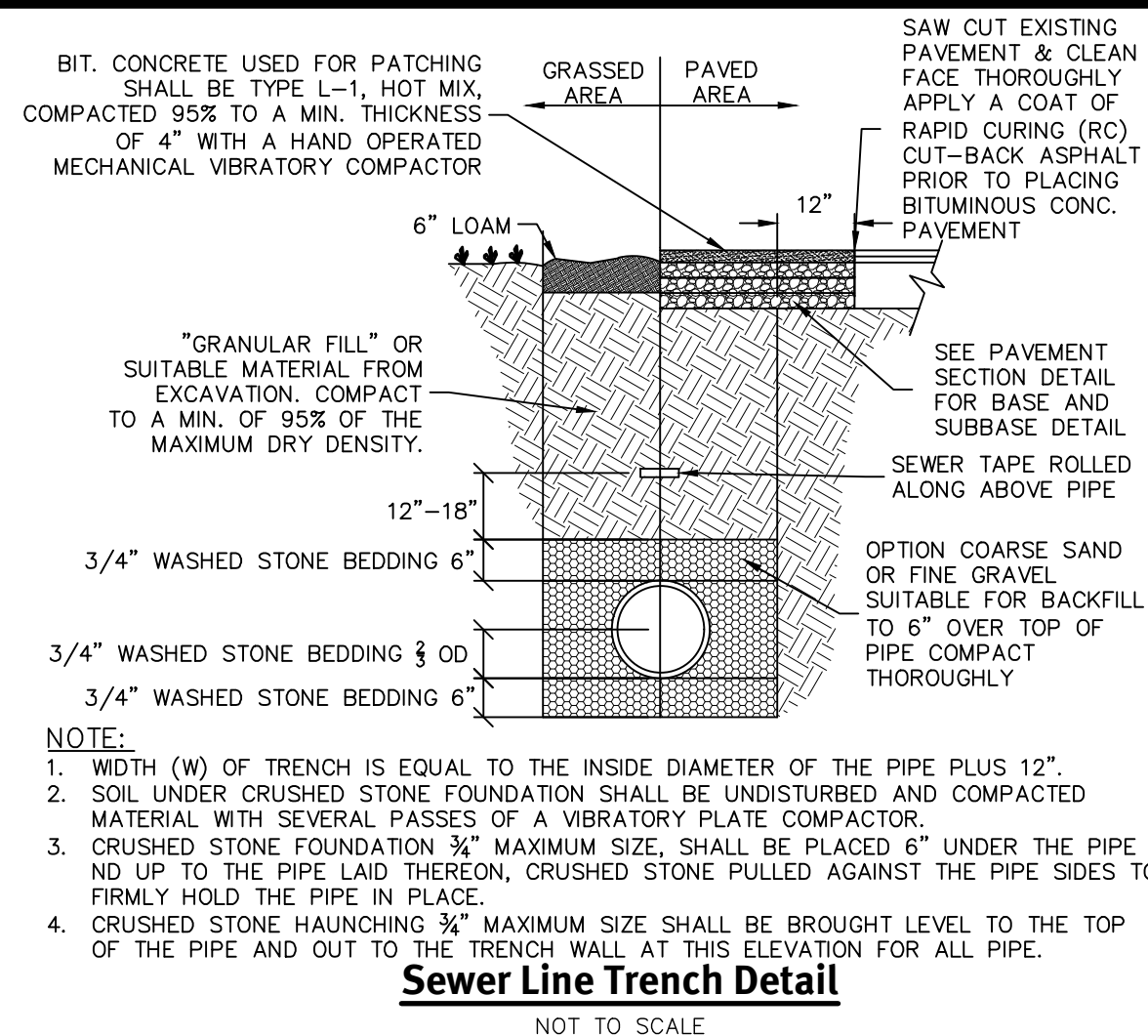
Drawn By: A.S.M. Design By: A.S.M.

Detail Sheet - 2

Wampanoag Meadows
Assessors Map, Block 1, Lot 7
1270 Wampanoag Trail, East Providence, Rhode Island 02903

Driscoll Development, LLC
940 Quaker Lane
Warwick, RI 02886

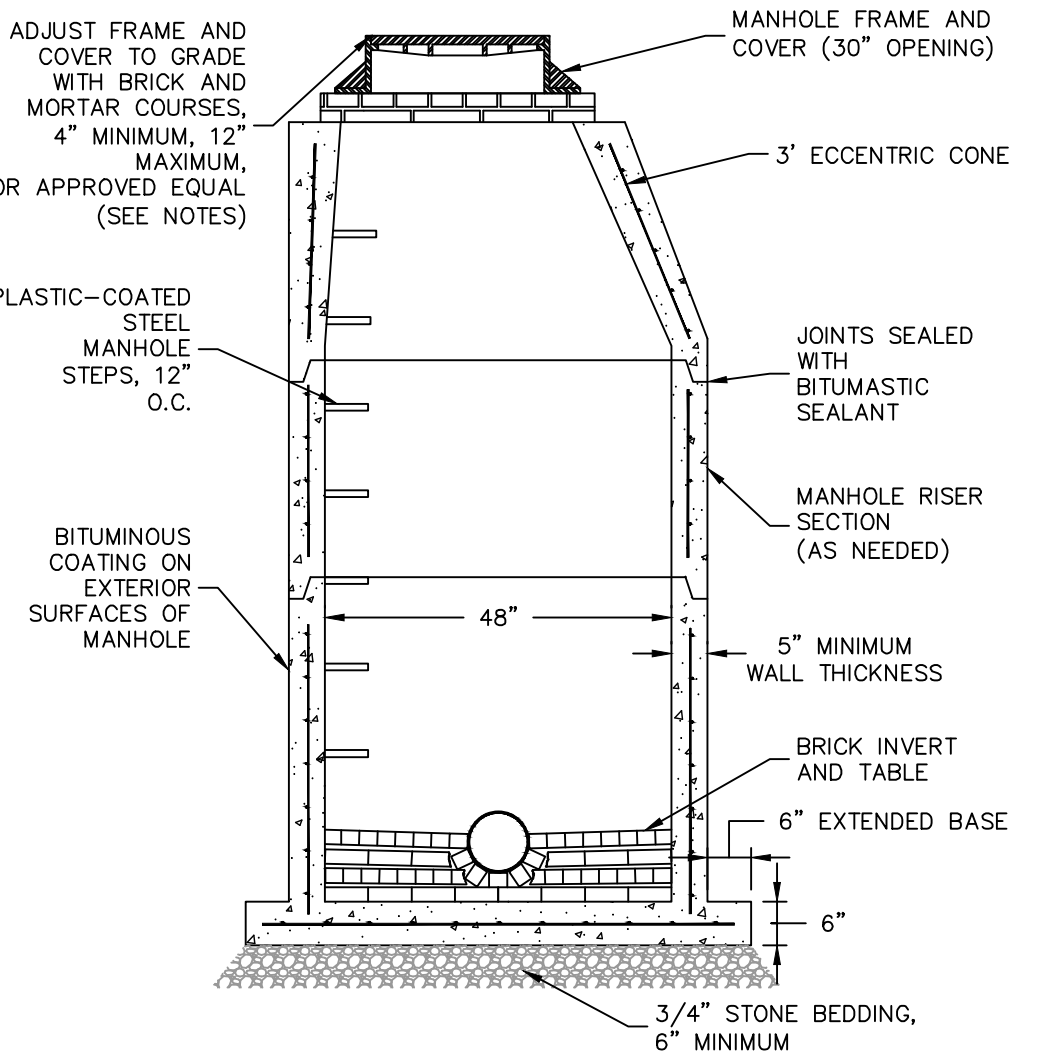
SHEET 27 OF 29



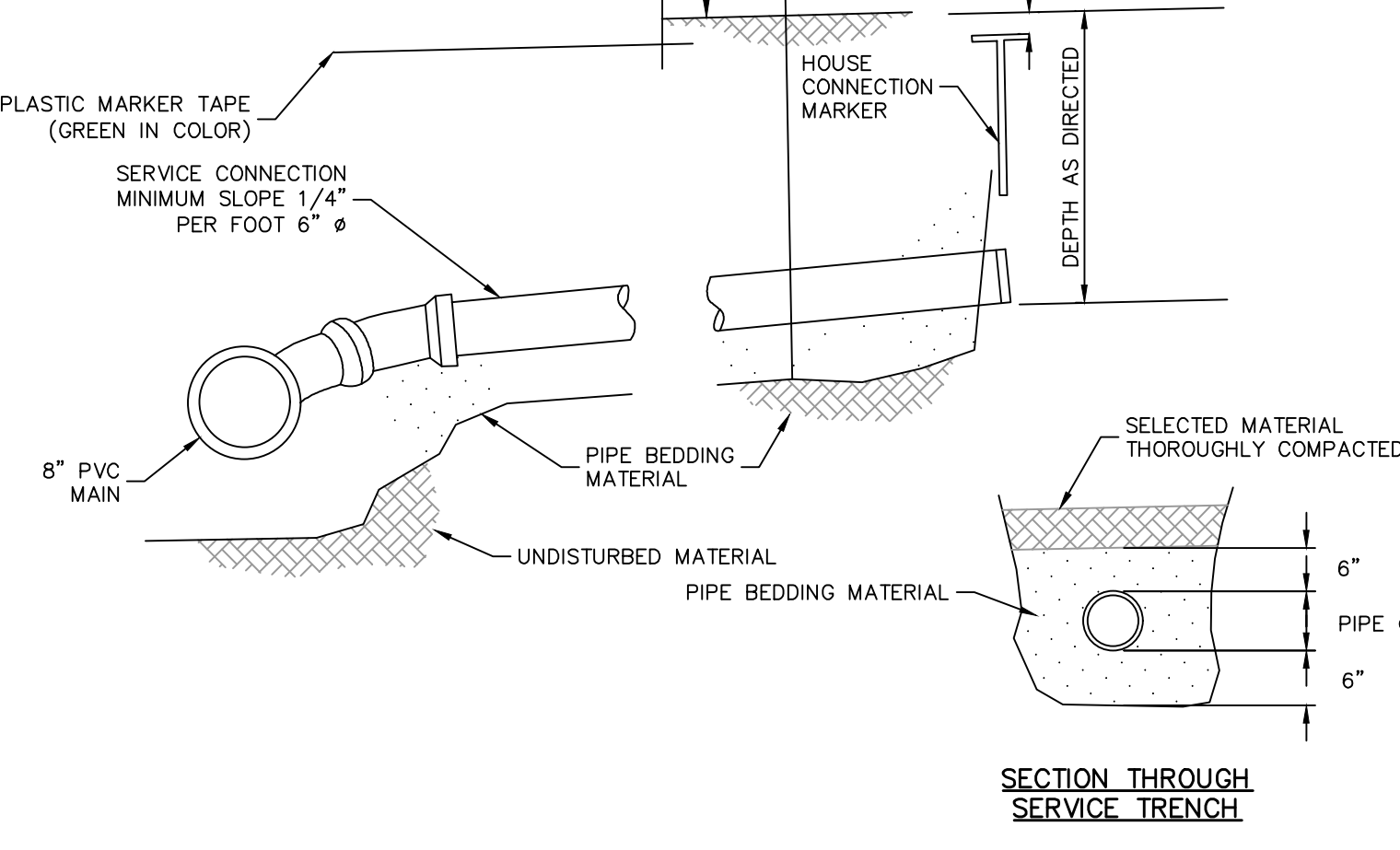
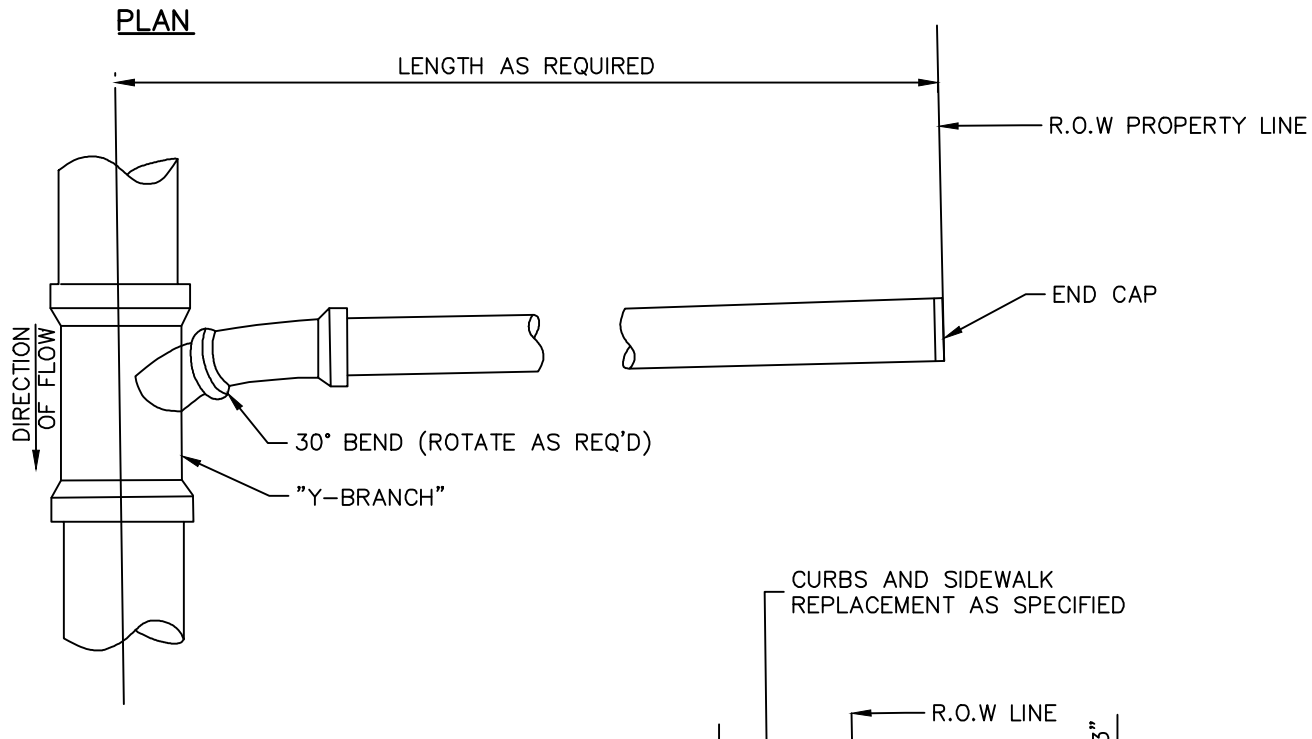
NOTES:
 1. CONSTRUCT A FORMED INVERT FROM NEW SEWER LINE TO ALLOW FLOW TO THE EXISTING PIPE.
 2. POUR A SHELF TO THE LOWER HALF OF THE EXISTING PIPE.
 3. CUT AND REMOVE THE TOP HALF OF EXISTING PIPE TO WITHIN 6" OF THE MANHOLE WALLS AFTER THE INVERT AND SHELF HAVE BEEN FORMED AND THE MANHOLE HAS BEEN FULLY TESTED IN ACCORDANCE WITH THE SEWER AUTHORITY SPECIFICATIONS.

Typical Manhole Base (Doghouse Installation)
 NOT TO SCALE

NOTES:
 1. MANHOLE SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM-C478.
 2. INVERT AND TABLE SHALL CONSIST ENTIRELY OF BRICK AND MORTAR. NO SAND FILLER SHALL BE ALLOWED.
 3. MANHOLES SHALL BE VACUUM TESTED PRIOR TO ACCEPTANCE, IN ACCORDANCE WITH THE SEWER AUTHORITY SANITARY RULES AND REGULATIONS. UNDER NO CIRCUMSTANCES WILL EXFILTRATION TESTING BE ACCEPTED.
 4. BOLTED AND GASKETED COVERS SHALL BE USED ON MANHOLES IN OFF-ROAD AREAS.
 5. TAPPING OF MANHOLES MUST BE AUTHORIZED AND INSPECTED BY THE SEWER AUTHORITY. THE ONLY APPROVED METHOD FOR TAPPING MANHOLES SHALL BE BY CORE-DRILLING THE MANHOLE AND INSTALLING A "KOR-N-SEAL" BOOT.
 6. PRECAST CONCRETE GRADE RINGS, HOPE GRADE RINGS, OR OTHER RIM ADJUSTMENT PRODUCTS MAY BE USED IN LIEU OF BRICK AND MORTAR WITH THE PERMISSION OF THE SEWER AUTHORITY.



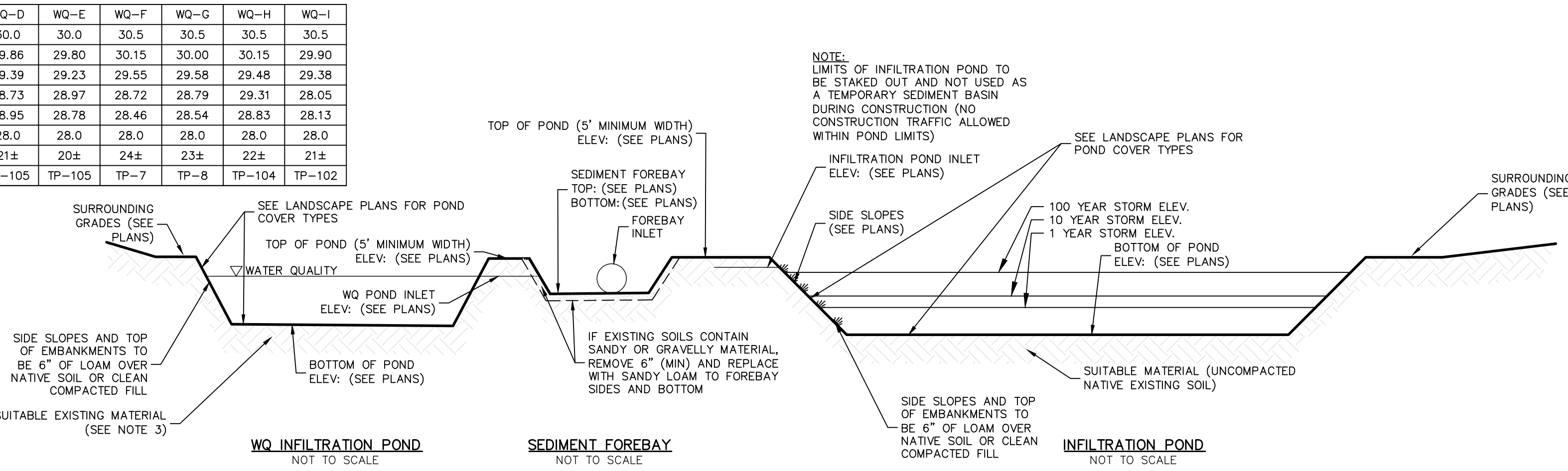
Sewer Manhole
 NOT TO SCALE



Service Connection Detail
 NOT TO SCALE

DESCRIPTION	WQ-A	WQ-B	WQ-C	WQ-D	WQ-E	WQ-F	WQ-G	WQ-H	WQ-I
TOP OF POND ELEVATION	30.3	31.0	30.5	30.0	30.0	30.5	30.5	30.5	30.5
100 YEAR STORM ELEVATION	29.76	30.18	29.65	29.86	29.80	30.15	30.00	30.15	29.90
10 YEAR STORM ELEVATION	29.29	29.60	29.34	29.39	29.23	29.55	29.58	29.48	29.38
1 YEAR STORM ELEVATION	28.63	29.17	28.34	28.73	28.97	28.72	28.79	29.31	28.05
WQ STORM ELEVATION	28.87	29.01	28.49	28.95	28.78	28.46	28.54	28.83	28.13
BOTTOM OF POND ELEVATION	28.0	28.0	28.0	28.0	28.0	28.0	28.0	28.0	28.0
SEASONAL HIGH GWT ELEVATION ¹	23±	23±	22±	21±	20±	24±	23±	22±	21±
SOIL EVALUATION ¹	TP-11	TP-11	TP-11	TP-105	TP-105	TP-7	TP-8	TP-104	TP-102

NOTES:
 1. SEASONAL HIGH GWT ELEVATION INFORMATION DERIVED FROM POINTS OTHER THAN SOIL EVALUATION TEST PITS, SOURCES AVAILABLE ON "EXPLORATION LOCATION PLAN" BY GZA
 2. LIMITS OF INFILTRATION POND TO BE STAKED OUT AND NOT USED AS A TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION (NO CONSTRUCTION TRAFFIC ALLOWED WITHIN FILTER LIMITS)
 3. BOTTOMS OF ALL WATER QUALITY INFILTRATION BMPs TO HAVE A MINIMUM OF 18" OF ASTM C-33 SAND OR ON SITE MEDIUM SAND. BOTTOM OF WATER QUALITY BMPs TO BE INSPECTED BY DESIGN ENGINEER DURING CONSTRUCTION.
 4. PRIOR TO INSTALLATION OF ASTM C-33 CONCRETE SAND A SPECIFICATION OF THIS MATERIAL IS TO BE PROVIDED TO THE SITE ENGINEER FOR APPROVAL.



WQ Infiltration Pond BMP System
 NOT TO SCALE

DESCRIPTION	IP-Y	IP-Z
TOP OF POND ELEVATION	30.00	30.00
100 YEAR STORM ELEVATION	29.14	29.35
10 YEAR STORM ELEVATION	28.22	28.31
1 YEAR STORM ELEVATION	28.02	28.03
BOTTOM OF POND ELEVATION	28.00	28.00
SEASONAL HIGH GWT ELEVATION	23±	23±
SOIL EVALUATION	TH-11	TH-102

NOTE:
 LIMITS OF INFILTRATION POND TO BE STAKED OUT AND NOT USED AS A TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION (NO CONSTRUCTION TRAFFIC ALLOWED WITHIN POND LIMITS)
 SEE LANDSCAPE PLANS FOR POND COVER TYPES
 100 YEAR STORM ELEV. 10 YEAR STORM ELEV. 1 YEAR STORM ELEV. BOTTOM OF POND ELEV. (SEE PLANS)
 INFILTRATION POND INLET ELEV. (SEE PLANS)
 SIDE SLOPES (SEE PLANS)
 SUITABLE MATERIAL (UNCOMPACTED NATIVE EXISTING SOIL)
 SIDE SLOPES AND TOP OF EMBANKMENTS TO BE 6" OF LOAM OVER NATIVE SOIL OR CLEAN COMPACTED FILL

DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
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 DiPrete Engineering assumes no responsibility for damages incurred due to the use of this plan set for any other purpose.

NO.	DATE	DESCRIPTION	BY	DESIGN BY
4	04/16/2021	Preliminary Plan - Response to Comments	ASW	ASW
3	03/03/2021	Revised Plan - Comments	ASW	ASW
2	02/22/2021	Revised Plan - Comments	ASW	ASW
1	02/02/2021	Revised Plan - Comments	ASW	ASW
0	02/02/2021	Revised Plan - Comments	ASW	ASW

Detail Sheet - 3

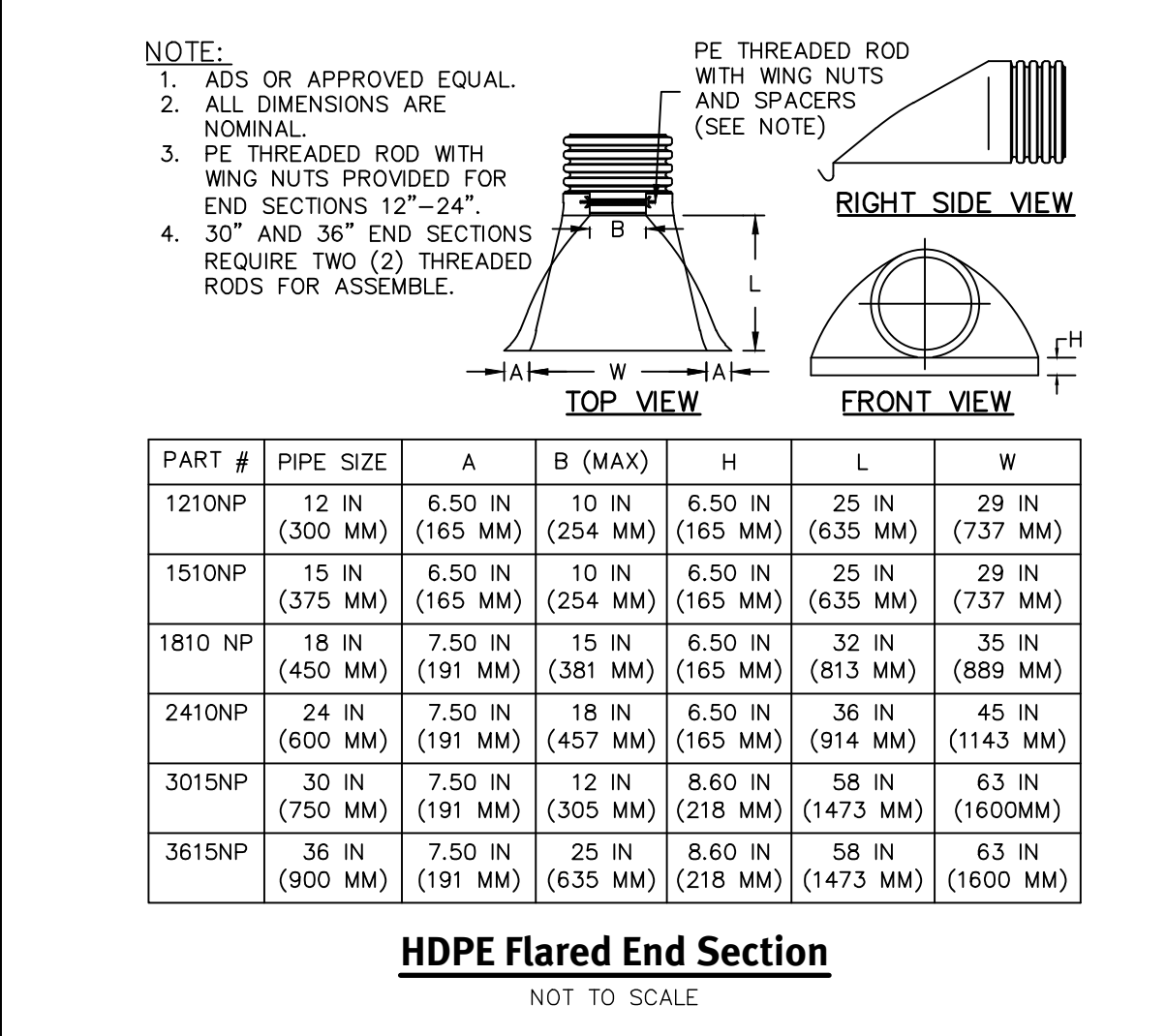
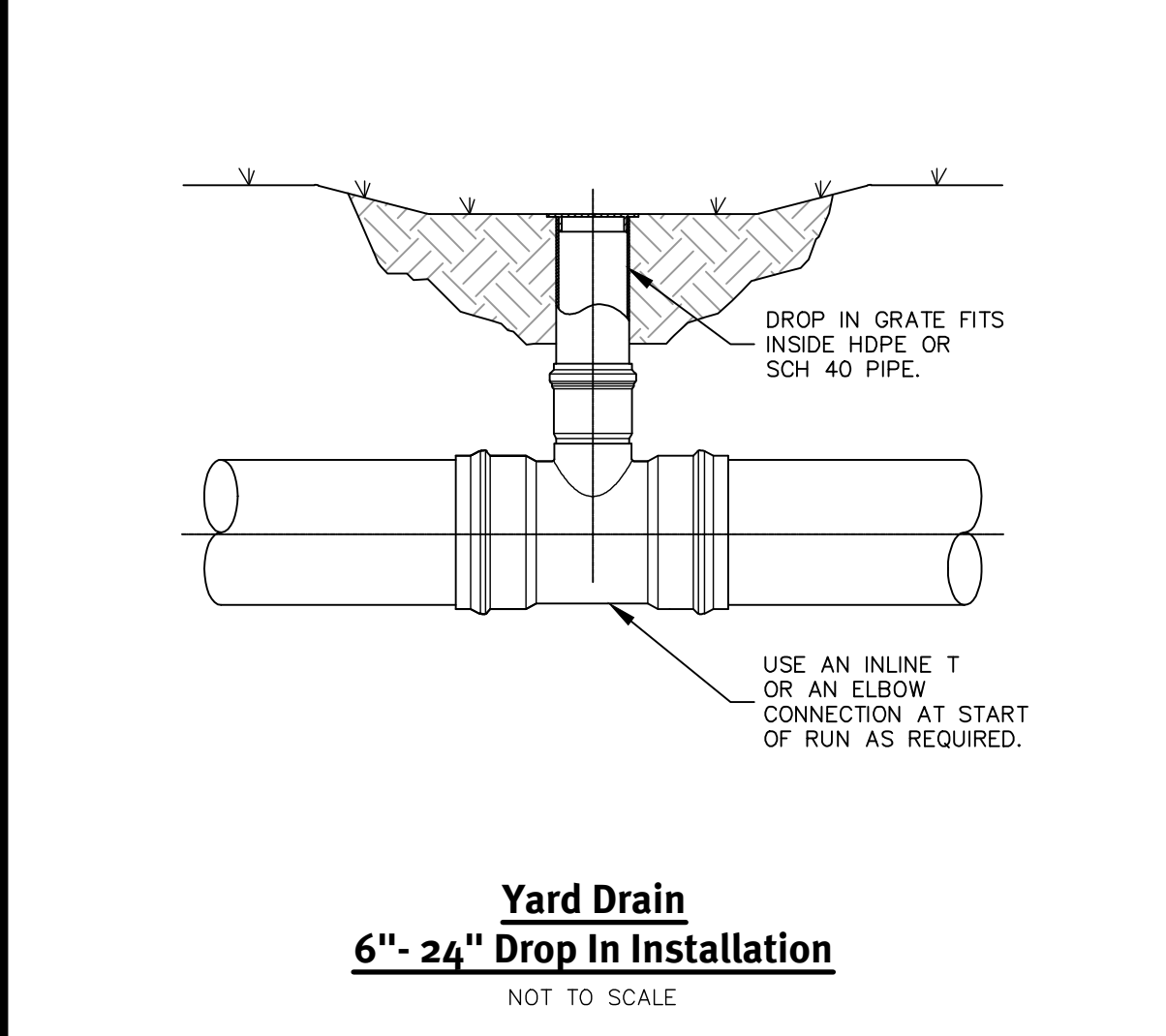
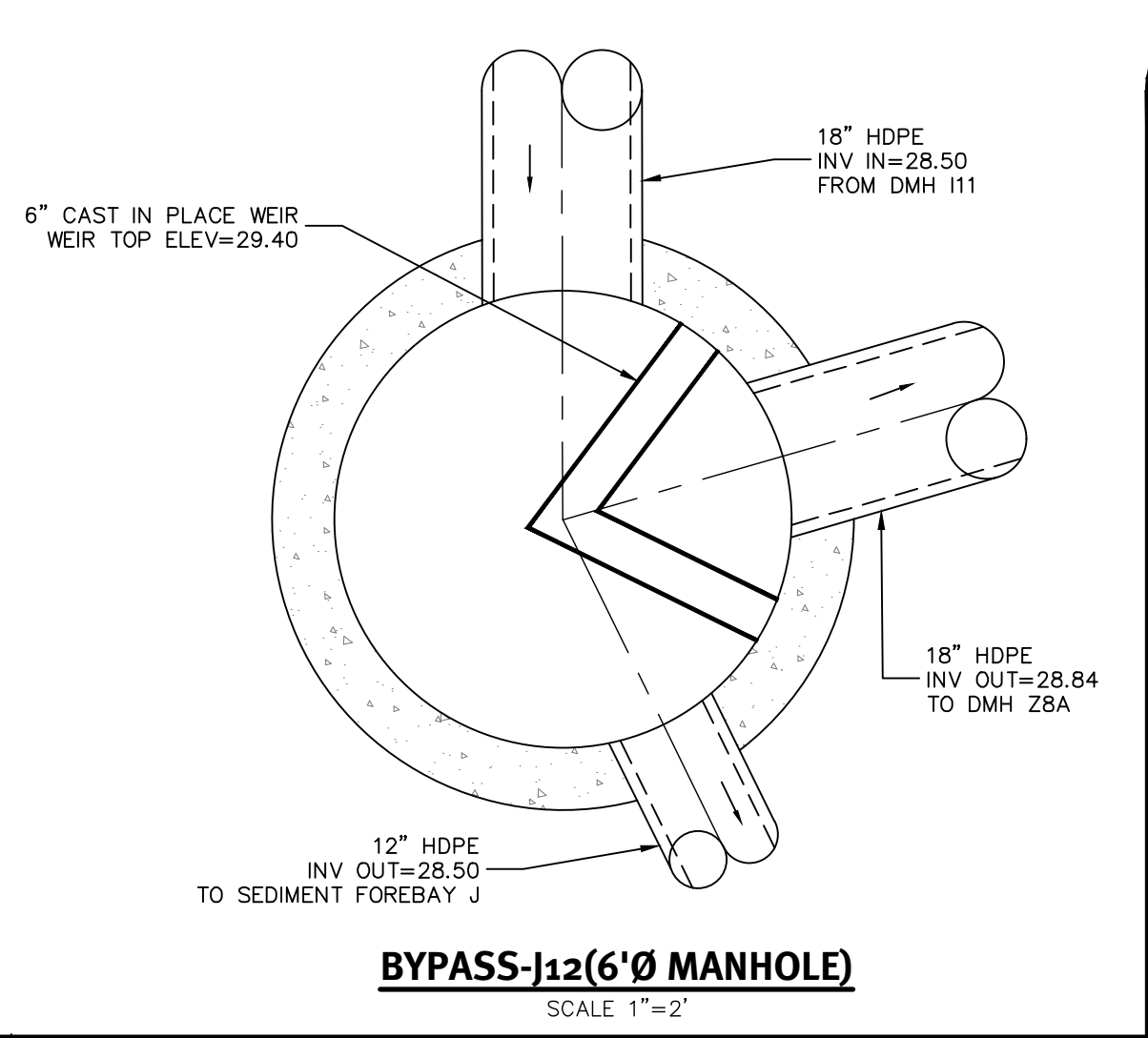
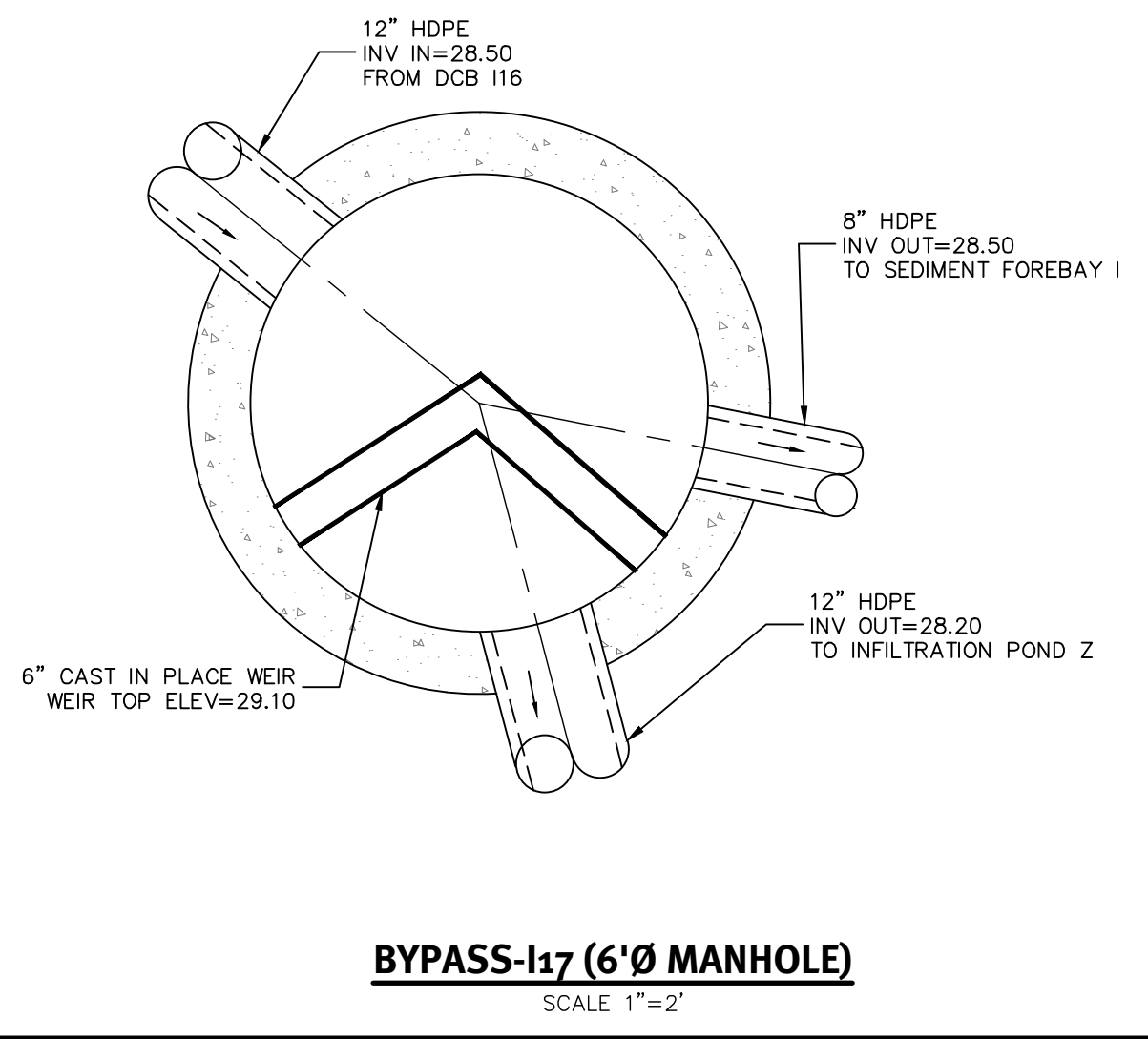
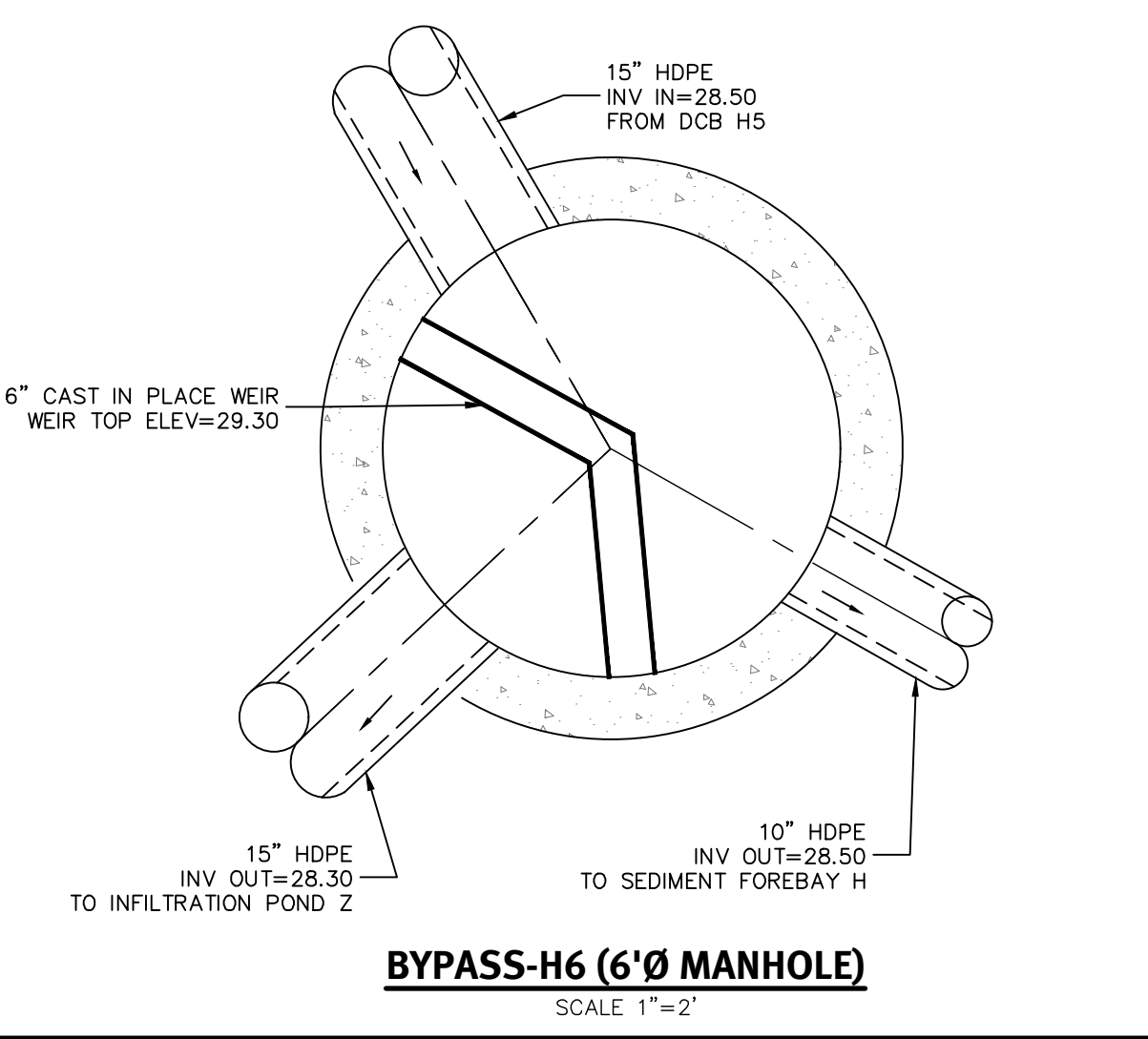
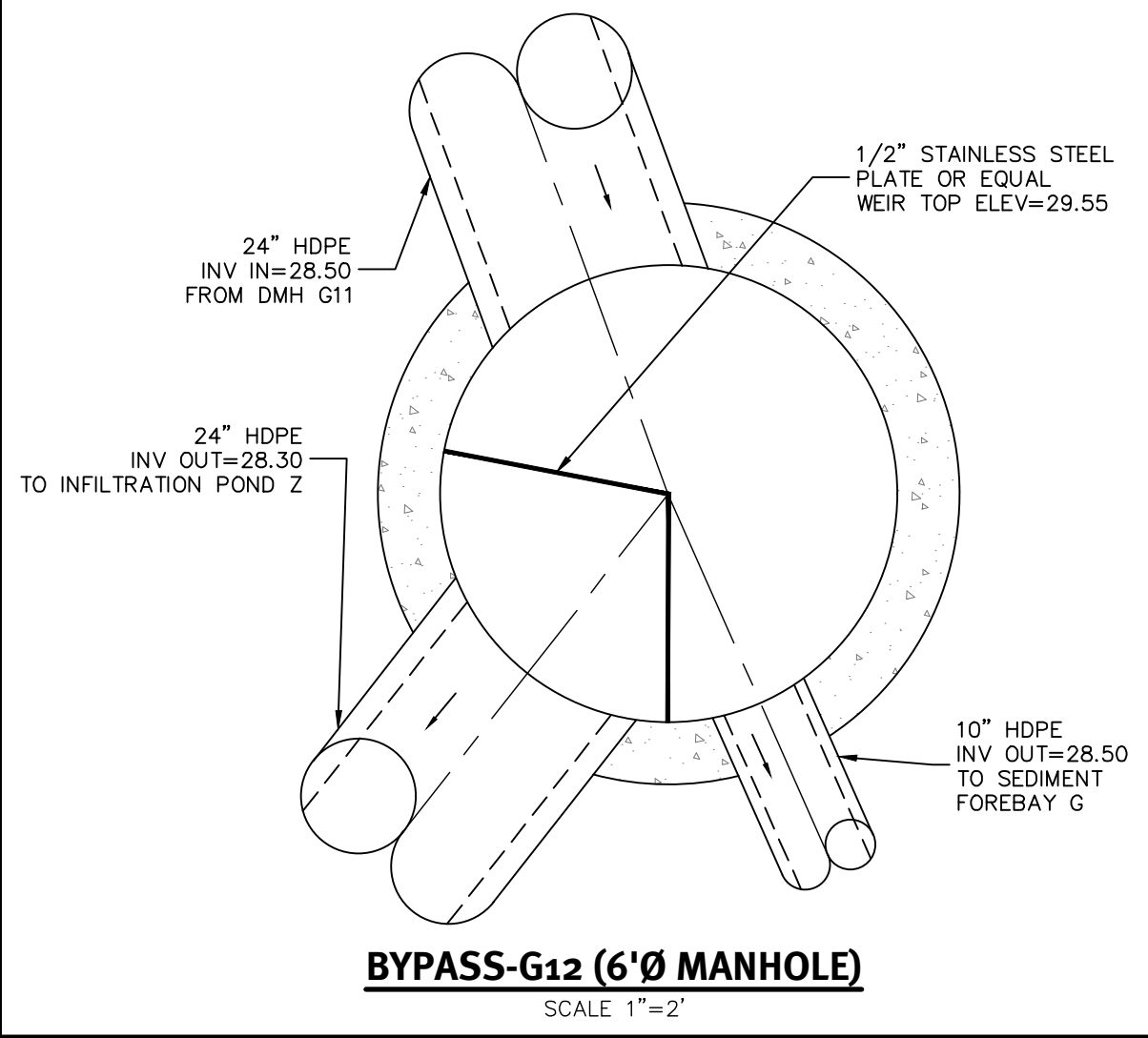
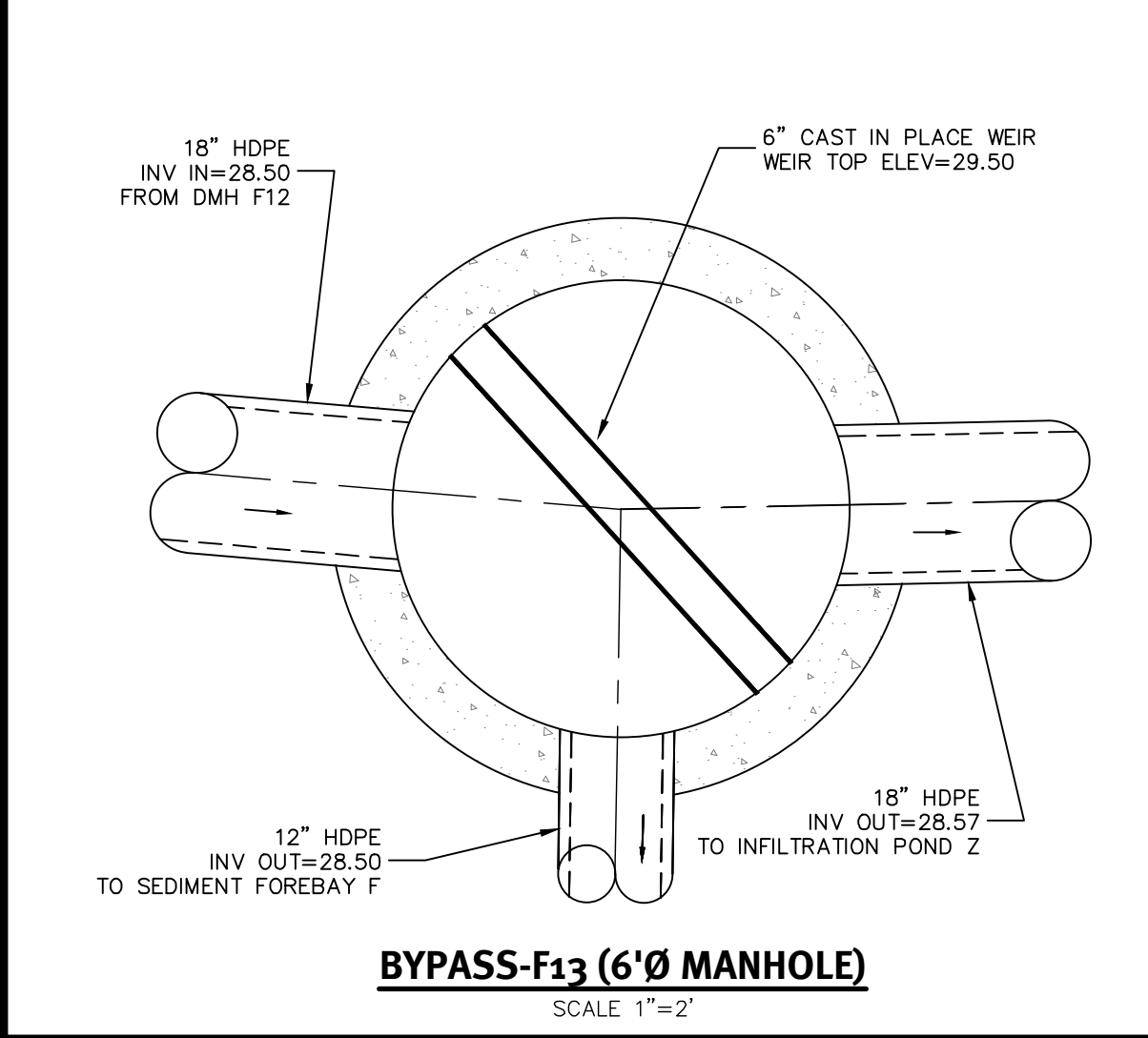
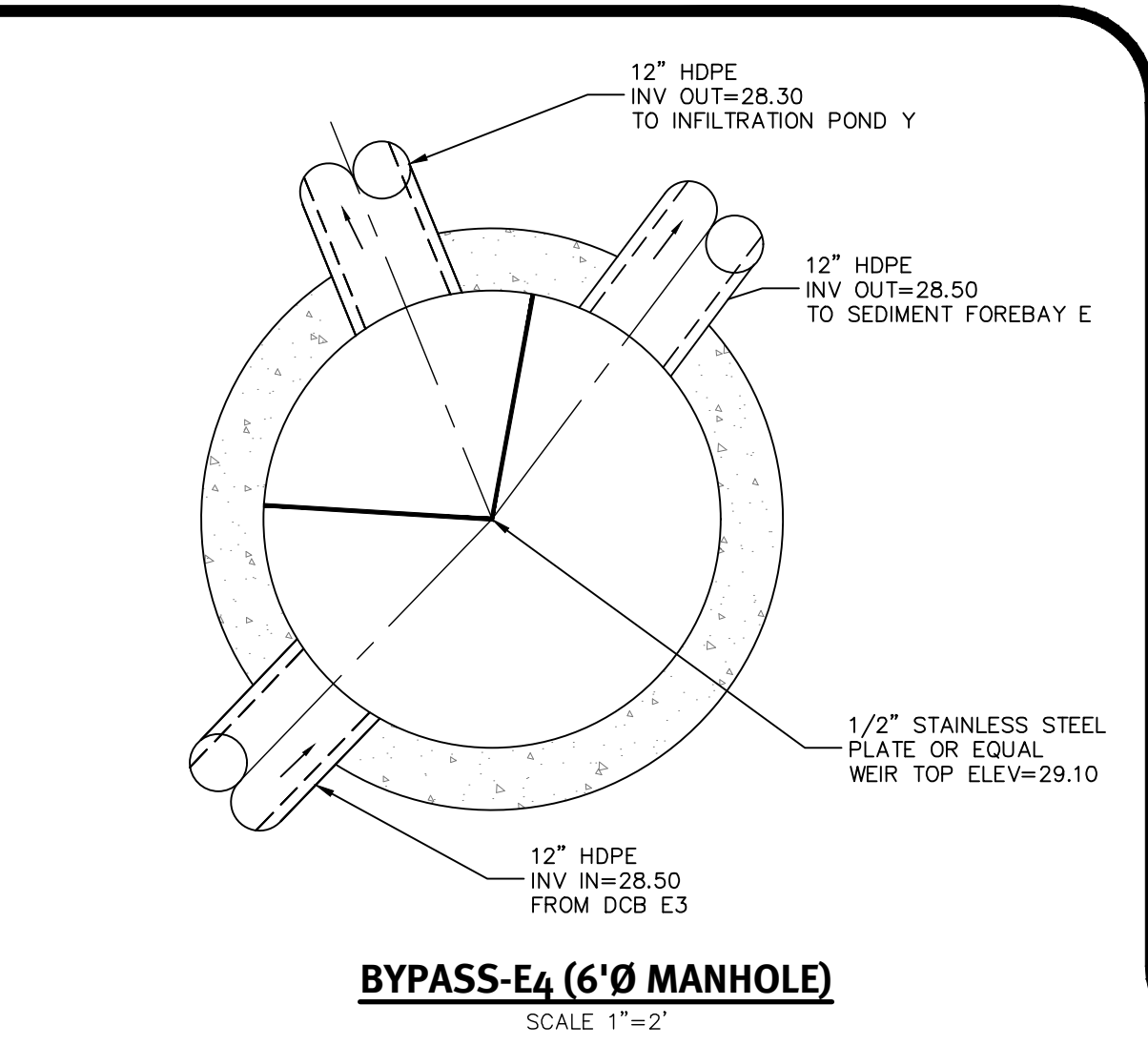
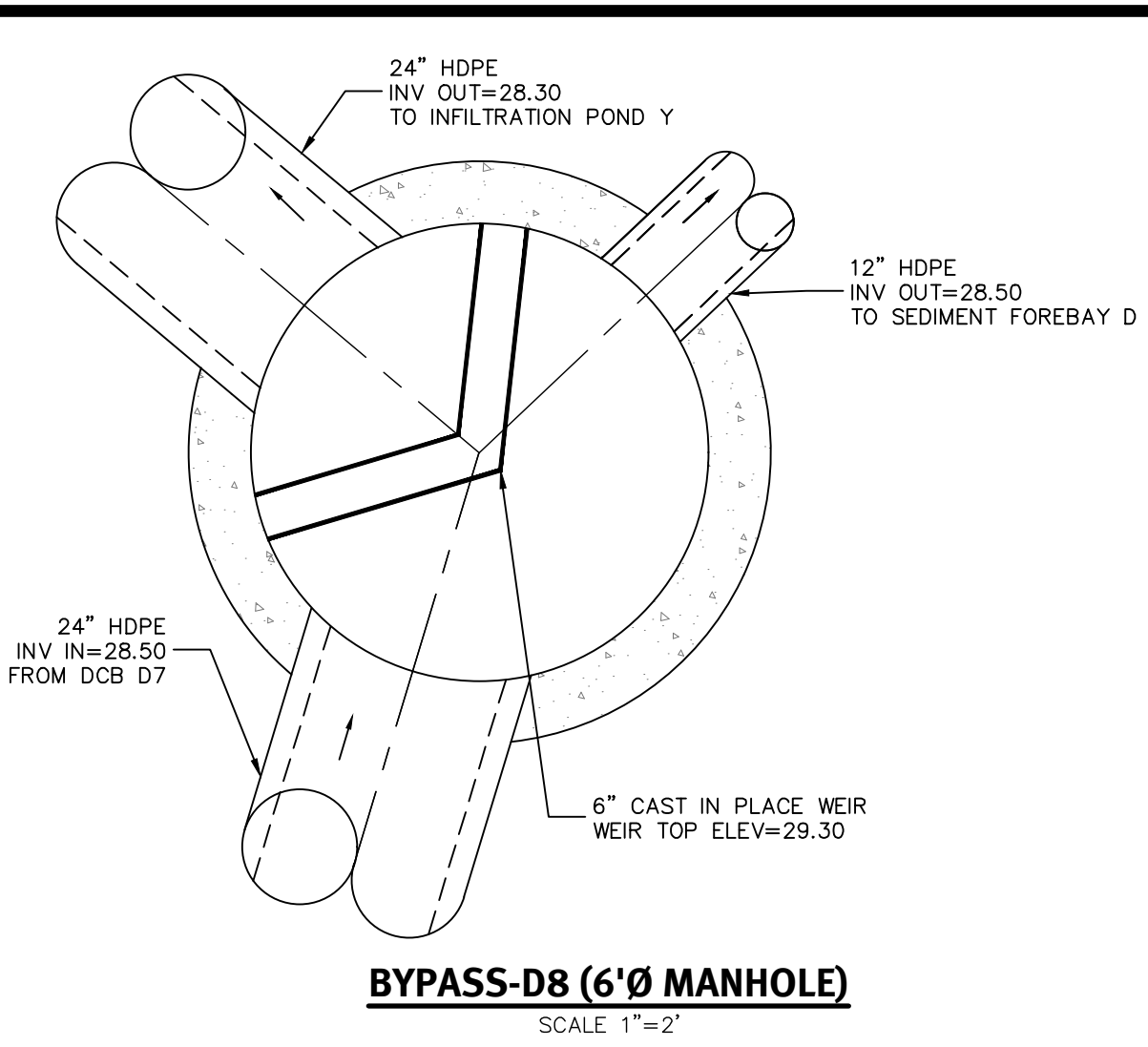
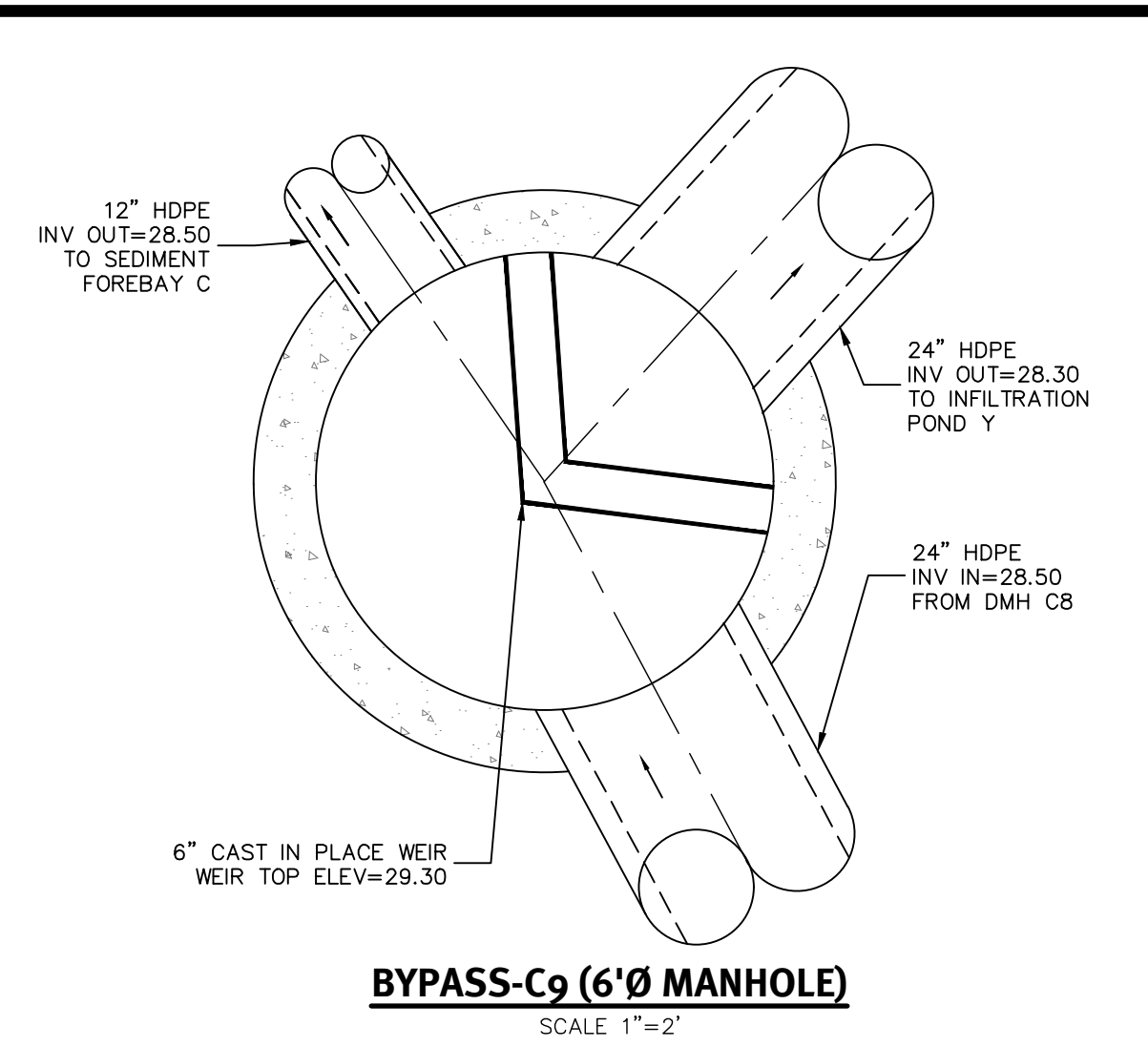
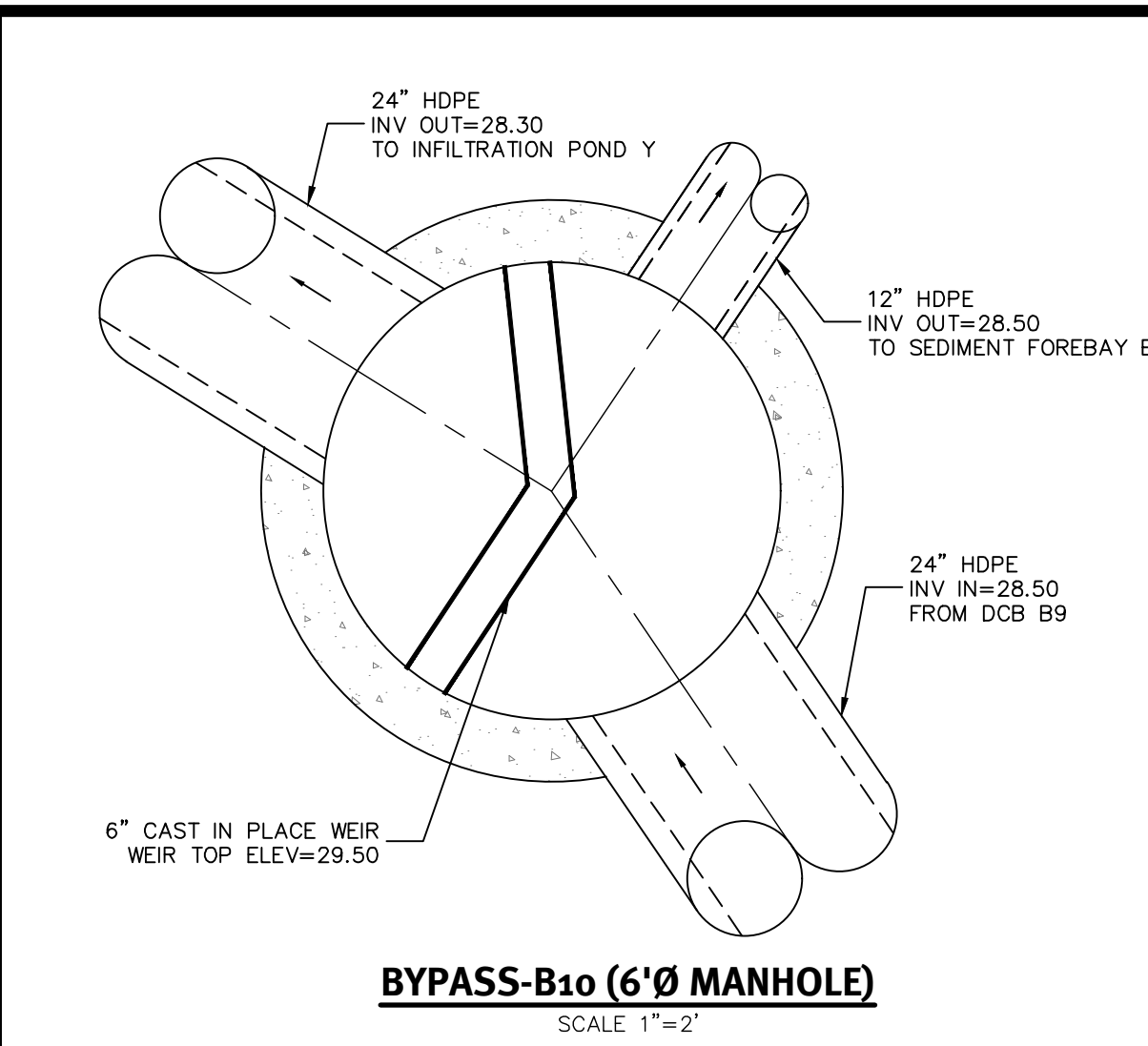
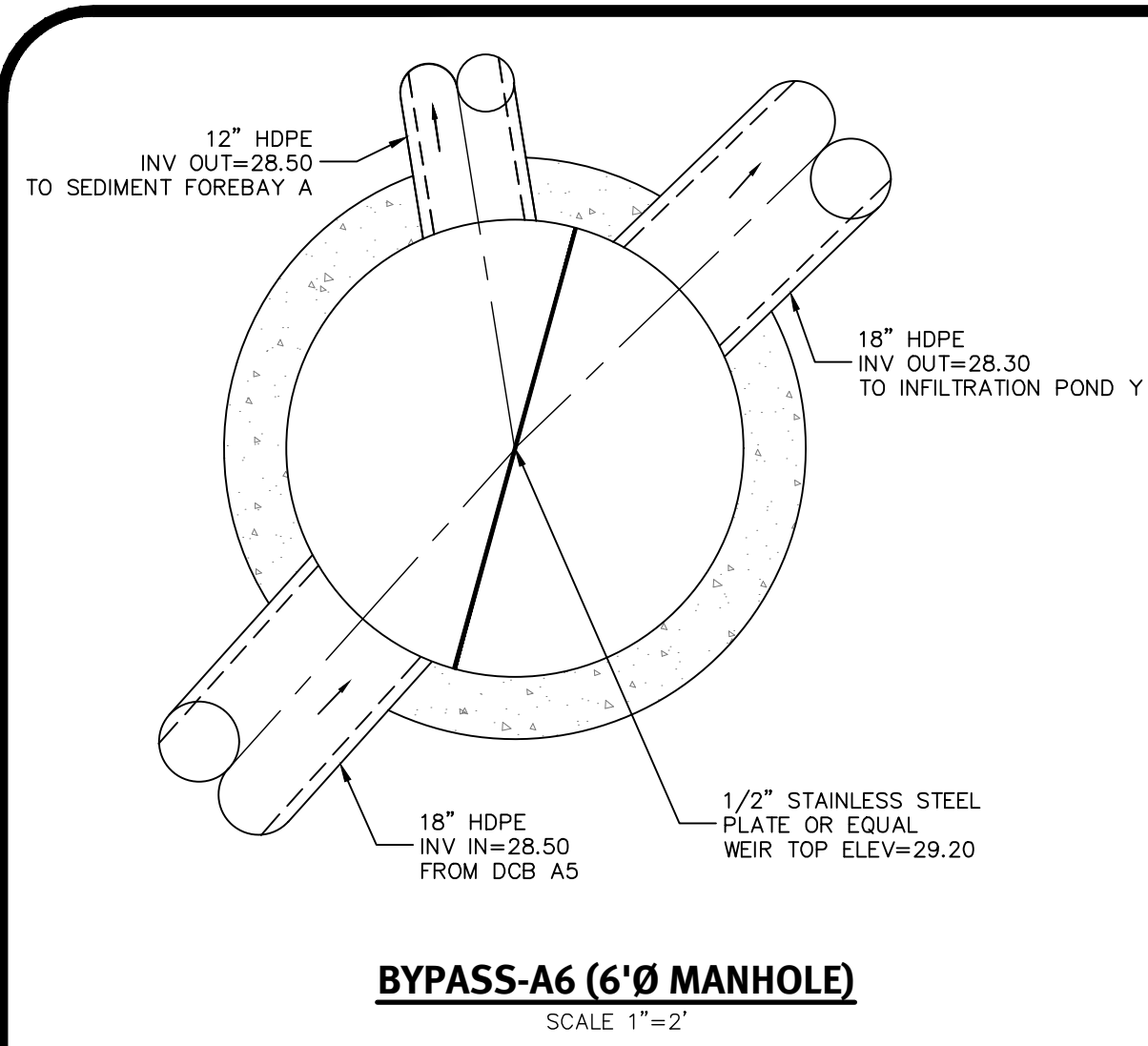
Wampanoag Meadows
 Assessors Map, Block 3, Lot 10
 1270 Wampanoag Trail, East Providence, Rhode Island 02903

Driscoll Development, LLC
 940 Quaker Lane
 Warwick, RI 02888

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SHEET **28** OF 29

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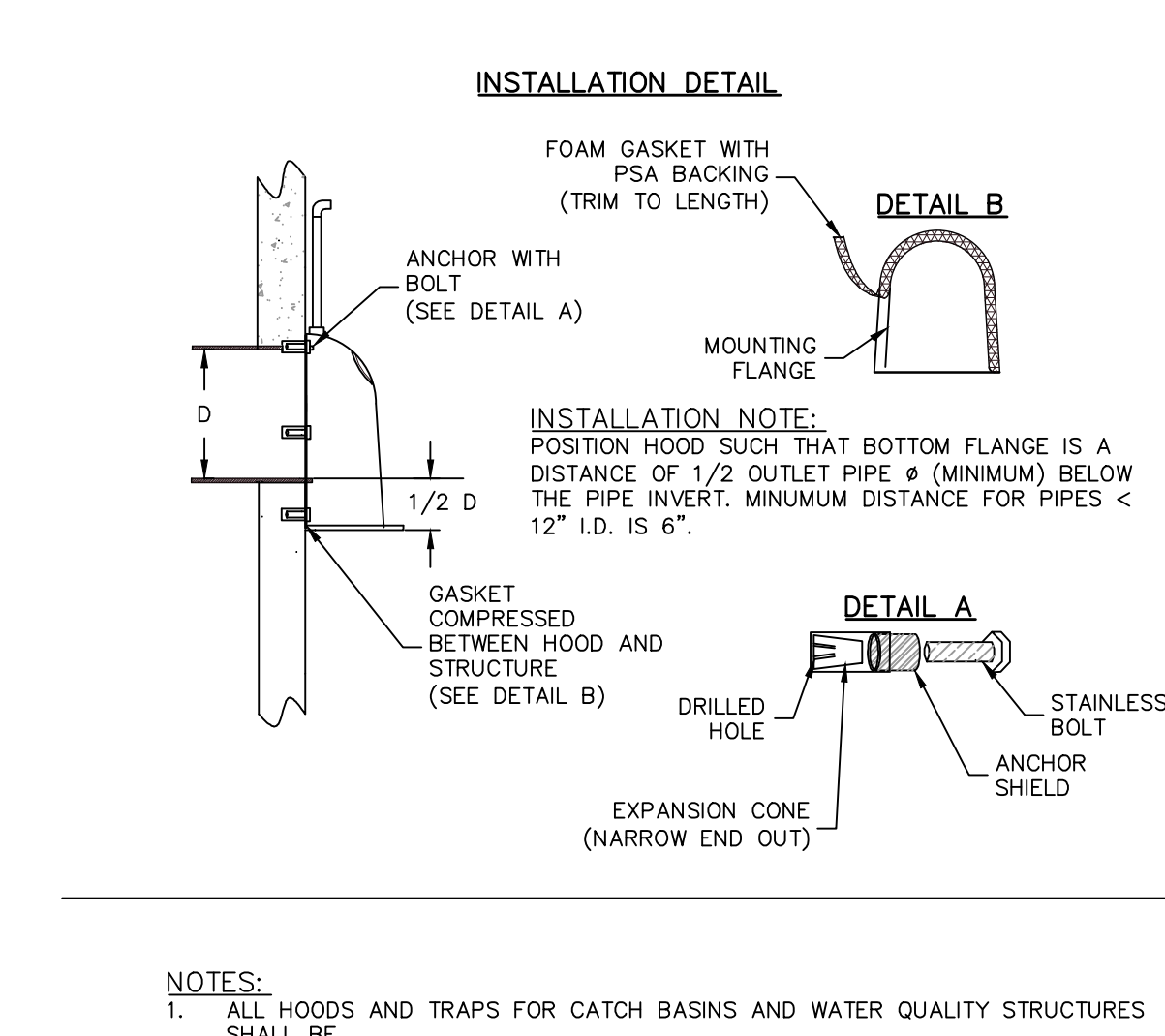
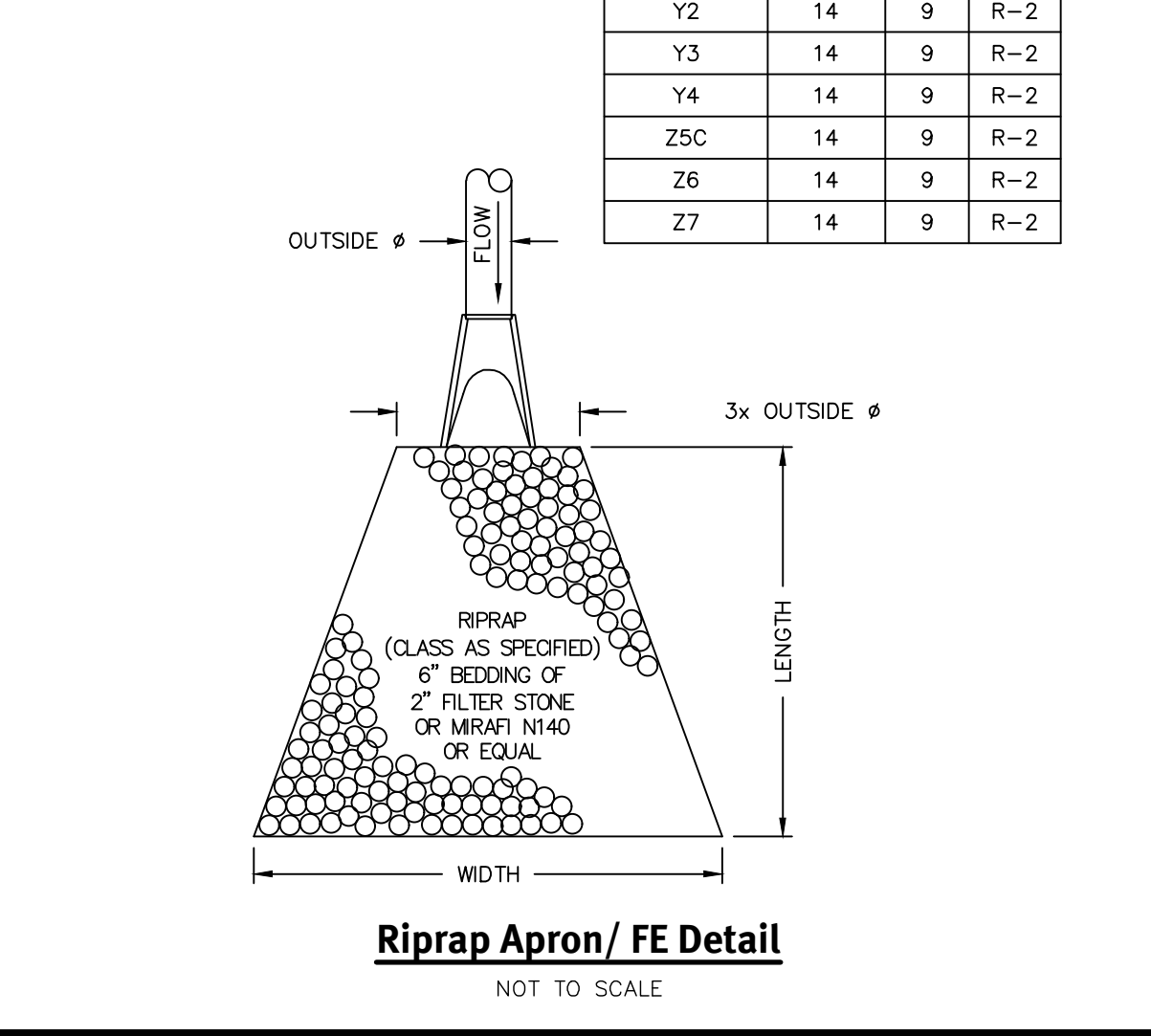
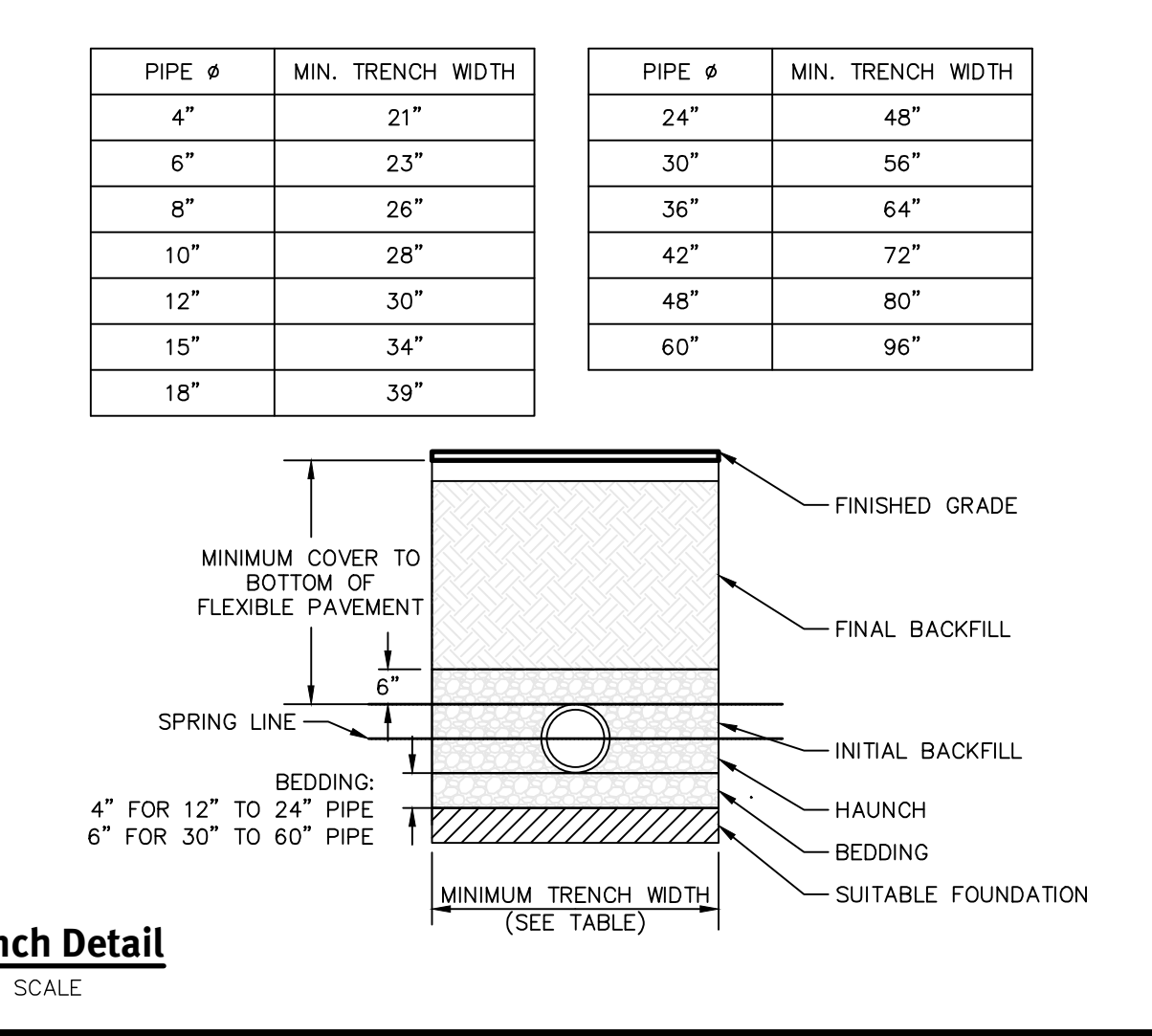
NOTE:
 1. ADS OR APPROVED EQUAL.
 2. ALL DIMENSIONS ARE NOMINAL.
 3. PE THREADED ROD WITH WING NUTS PROVIDED FOR END SECTIONS 12"-24".
 4. 30" AND 36" END SECTIONS REQUIRE TWO (2) THREADED RODS FOR ASSEMBLY.

PART #	PIPE SIZE	A	B (MAX)	H	L	W
1210NP	12 IN (300 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
1510NP	15 IN (375 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
1810 NP	18 IN (450 MM)	7.50 IN (191 MM)	15 IN (381 MM)	6.50 IN (165 MM)	32 IN (813 MM)	35 IN (889 MM)
2410NP	24 IN (600 MM)	7.50 IN (191 MM)	18 IN (457 MM)	6.50 IN (165 MM)	36 IN (914 MM)	45 IN (1143 MM)
3015NP	30 IN (750 MM)	7.50 IN (191 MM)	12 IN (305 MM)	8.60 IN (218 MM)	58 IN (1473 MM)	63 IN (1600MM)
3615NP	36 IN (900 MM)	7.50 IN (191 MM)	25 IN (635 MM)	8.60 IN (218 MM)	58 IN (1473 MM)	63 IN (1600 MM)

FLARED END	LENGTH	WIDTH	CLASS
AY	21	12	R-3
A7	13	10	R-2
BY	26	17	R-4
B11	12	8	R-2
CY	24	16	R-3
C10	10	7	R-2
DY	24	16	R-3
D9	10	7	R-2
EY	16	11	R-2
E5	10	7	R-2
FZ	25	15	R-4
F14	13	9	R-2
GZ	25	16	R-3
G13	11	7	R-2
HZ	19	12	R-3
H7	10	7	R-2
IZ	17	10	R-3
I18	9	6	R-2
JZ	23	16	R-3
J13	25	7	R-3
Y1	9	9	R-2
Y2	14	9	R-2
Y3	14	9	R-2
Y4	14	9	R-2
Z5C	14	9	R-2
Z6	14	9	R-2
Z7	14	9	R-2

INSTALLATION NOTES:

- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST EDITION.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM); 6" (150MM) FOR 30"-60" (750MM-900MM).
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" Ø PIPE AND 24" OF COVER FOR 60" Ø PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.



INSTALLATION DETAIL

INSTALLATION NOTE:
 POSITION HOOD SUCH THAT BOTTOM FLANGE IS A DISTANCE OF 1/2" OUTLET PIPE Ø (MINIMUM) BELOW THE PIPE INVERT. MINIMUM DISTANCE FOR PIPES < 12" I.D. IS 6".

NOTES:

- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY: BEST MANAGEMENT PRODUCTS, INC. 53 MT. ARCHER RD. LYME, CT 06371 (860) 434-0277, (860) 434-3195 FAX TOLL FREE: (800) 504-8008 OR (888) 354-7585 WEB SITE: www.bestmtp.com OR PRE-APPROVED EQUAL.
- ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125" LAMINATE THICKNESS.
- ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL)
- THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
- THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2" THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES < 12" I.D.
- THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 24" ACCORDING TO STRUCTURE CONFIGURATION.
- THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL.
- THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL)
- INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT.

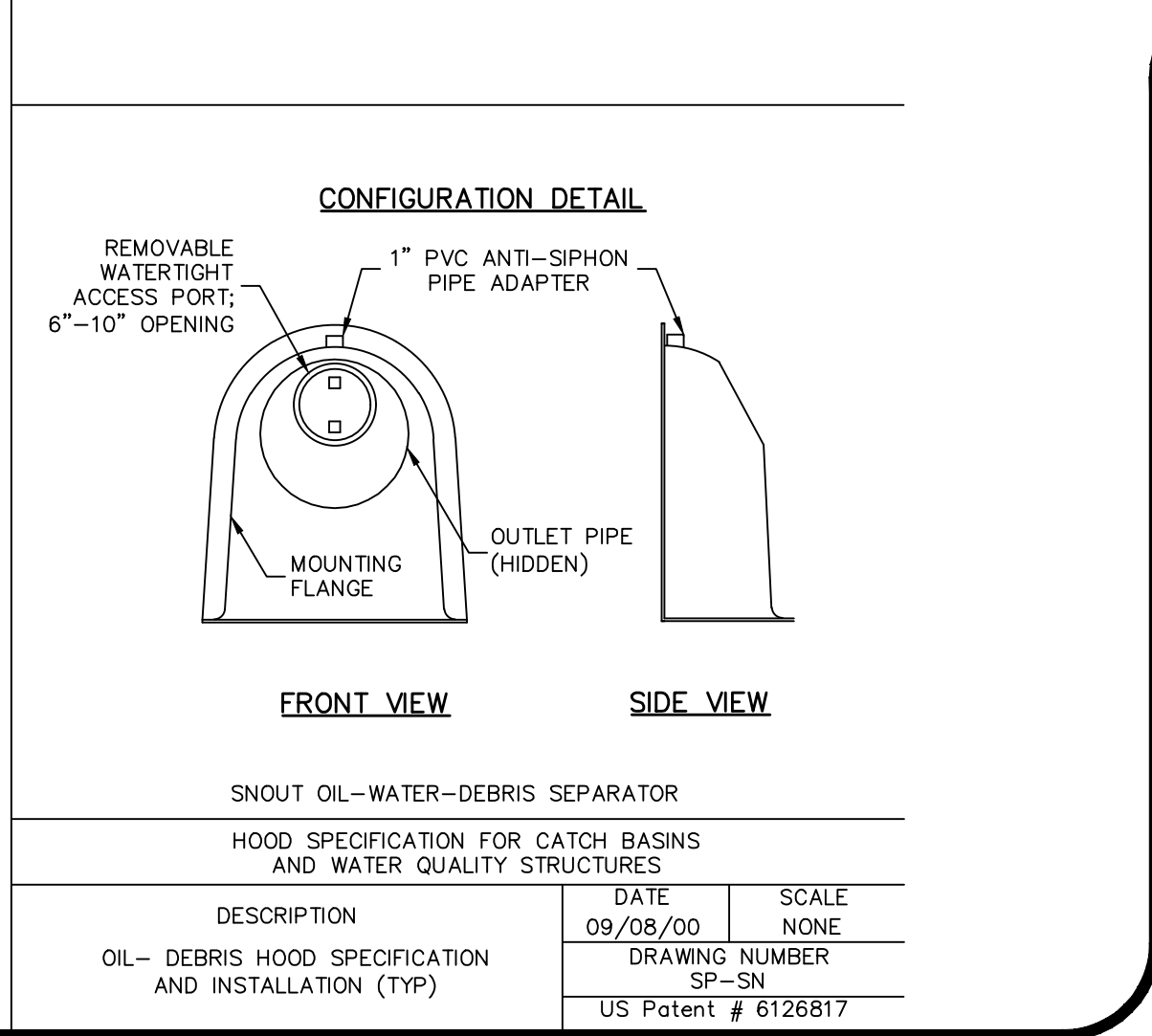
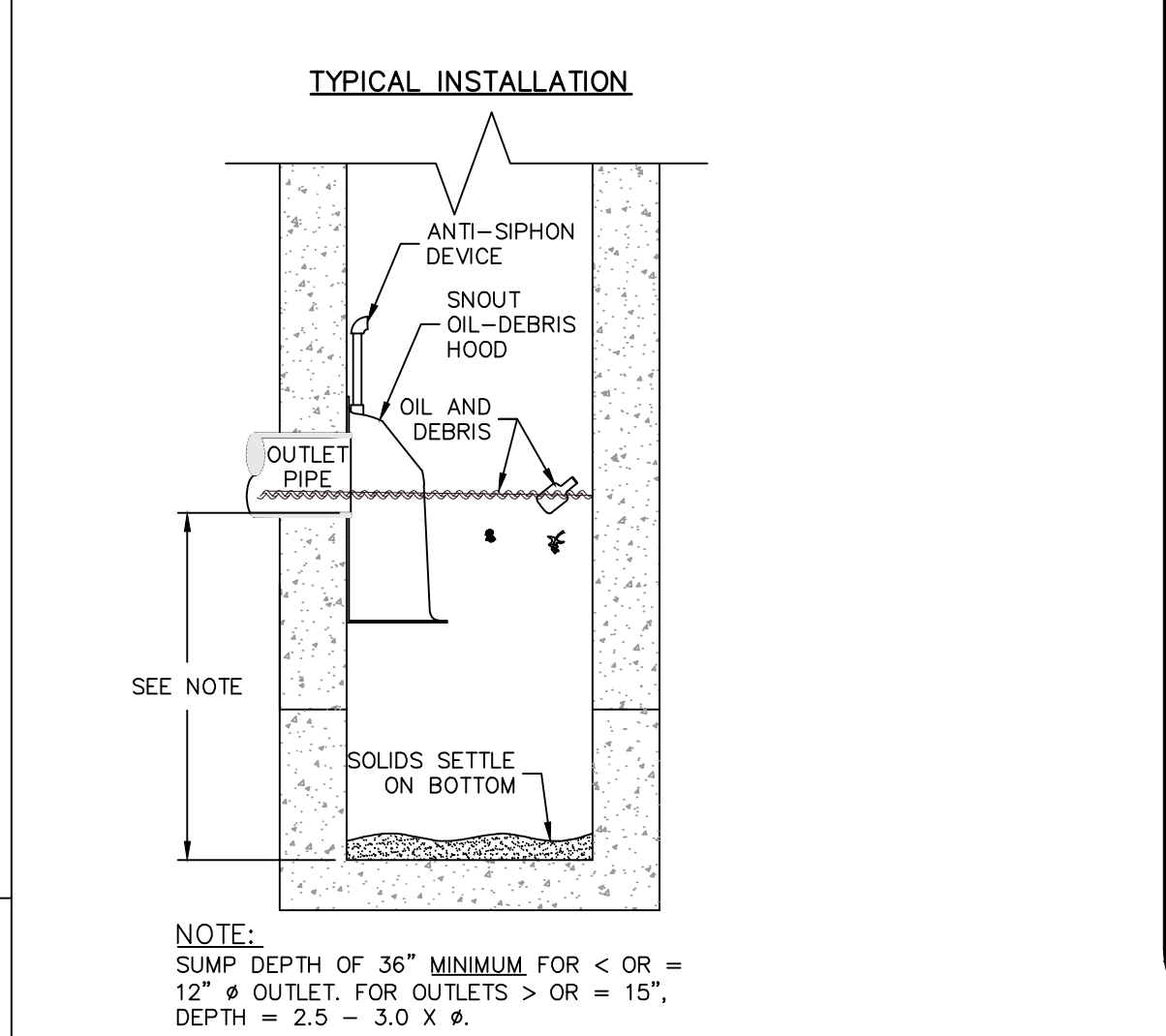
INSTALLATION KIT SHALL INCLUDE:

- INSTALLATION INSTRUCTIONS
- PVC ANTI-SIPHON VENT PIPE AND ADAPTER
- OIL-RESISTANT CRUSHED CELL FOAM GASKET WITH PSA BACKING
- 3/8" STAINLESS STEEL BOLTS
- ANCHOR SHIELDS

TO BE INSTALLED IN ALL CATCH BASINS

Oil Separator Detail

NOT TO SCALE



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NO.	DATE	DESCRIPTION	BY	CHKD.
1	09/08/00	PRELIMINARY PLAN - RESPONSE TO COMMENTS	ASW	ASW
2	03/07/02	REVISIONS TO PRELIMINARY PLAN	ASW	ASW
3	07/02/02	REVISIONS TO PRELIMINARY PLAN	ASW	ASW
4	02/06/03	REVISIONS TO PRELIMINARY PLAN	ASW	ASW

Design By: A.S.M.

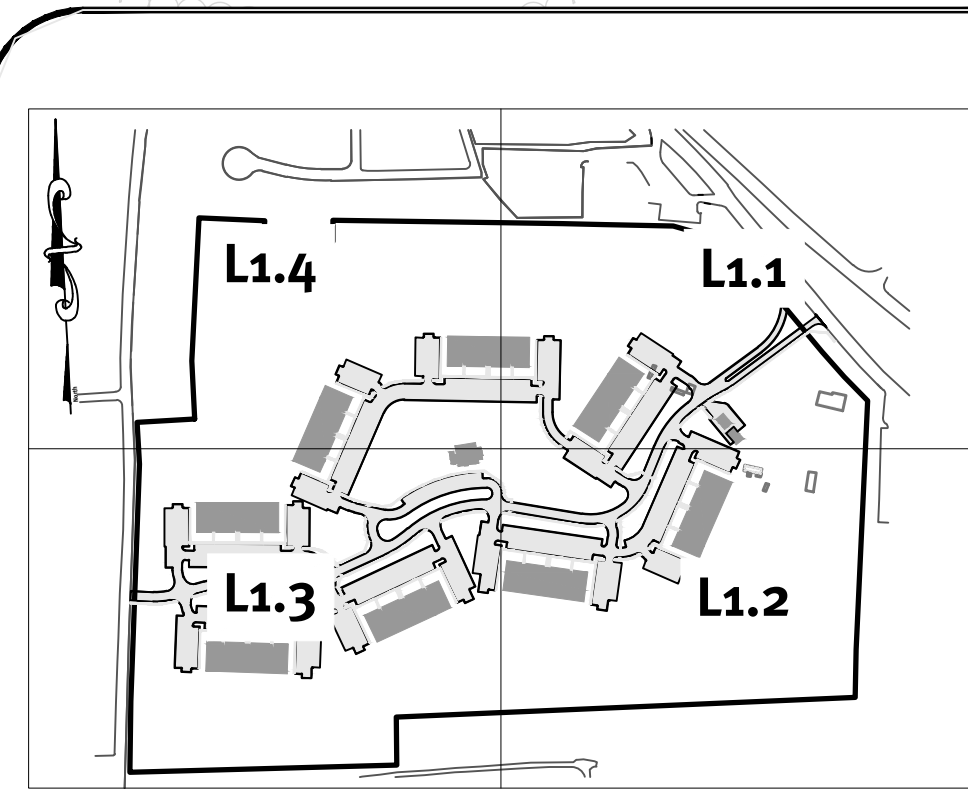
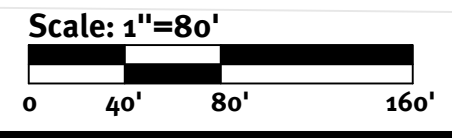
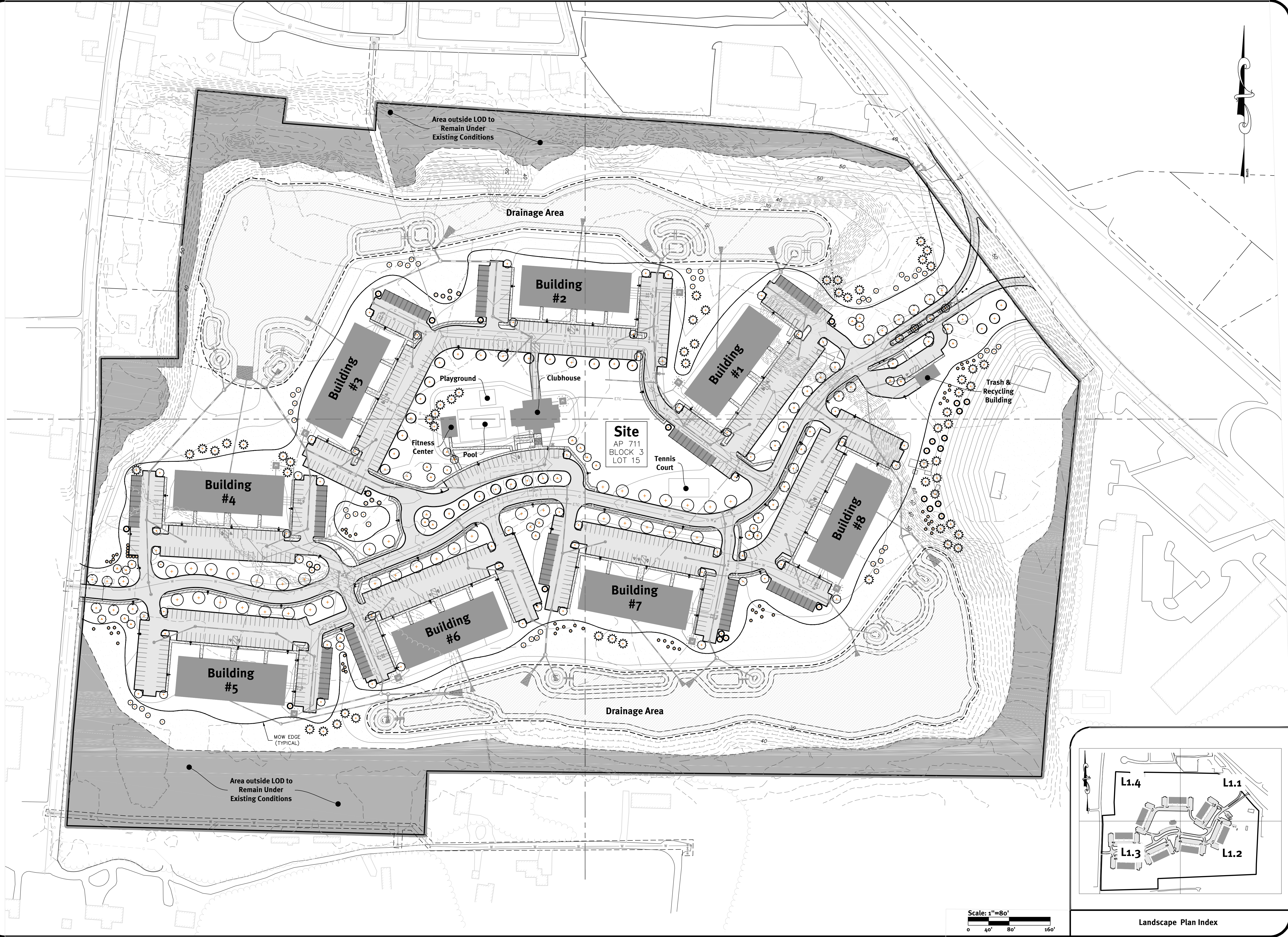
Detail Sheet - 4

Wampanoag Meadows
 1270 Wampanoag Trail, East Providence, Rhode Island 02903

Driscoll Development, LLC
 940 Quaker Lane
 Warwick, RI 02881

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Landscape Plan Index

Overall Landscape Plan

Wampanoag Meadows

Assessors Map #11, Block 3, Lot 15
1270 Wampanoag Trail, East Providence, Rhode Island 02903

Prepared For:
Driscoll Development, LLC
940 Quaker Lane
Warwick, RI 02886

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Locations of existing utilities. See Utility Note on sheet 3.

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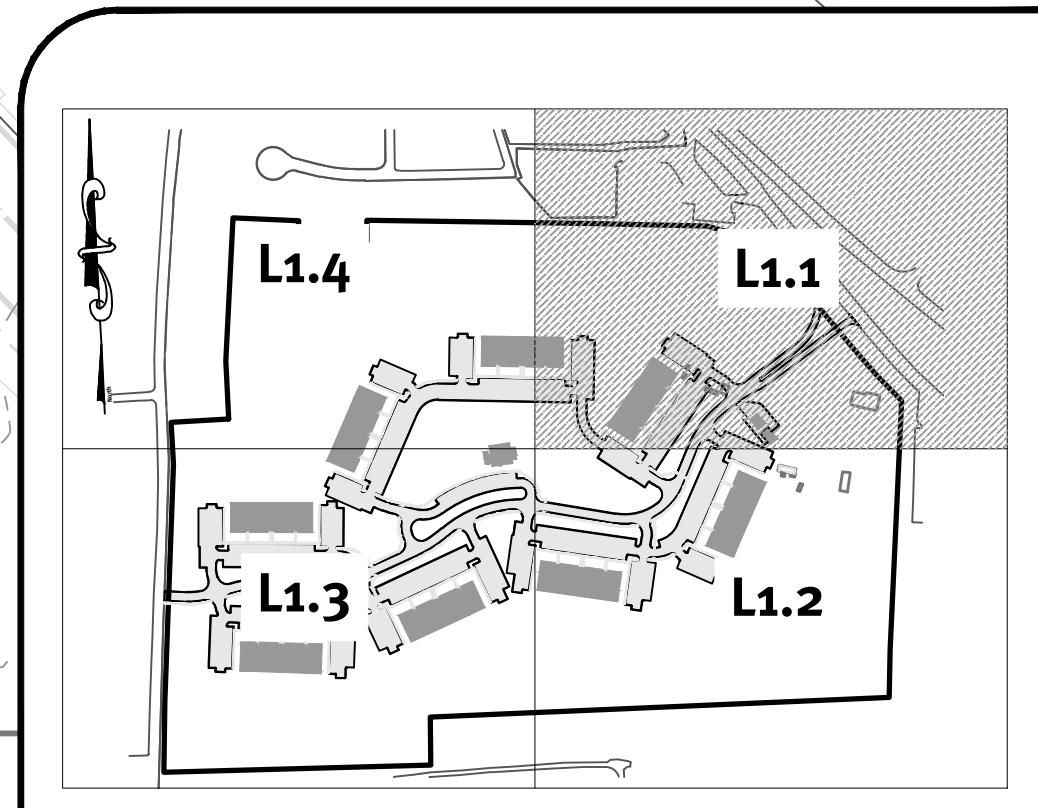
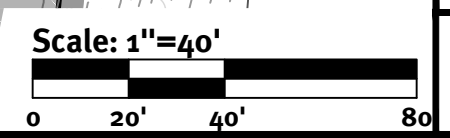
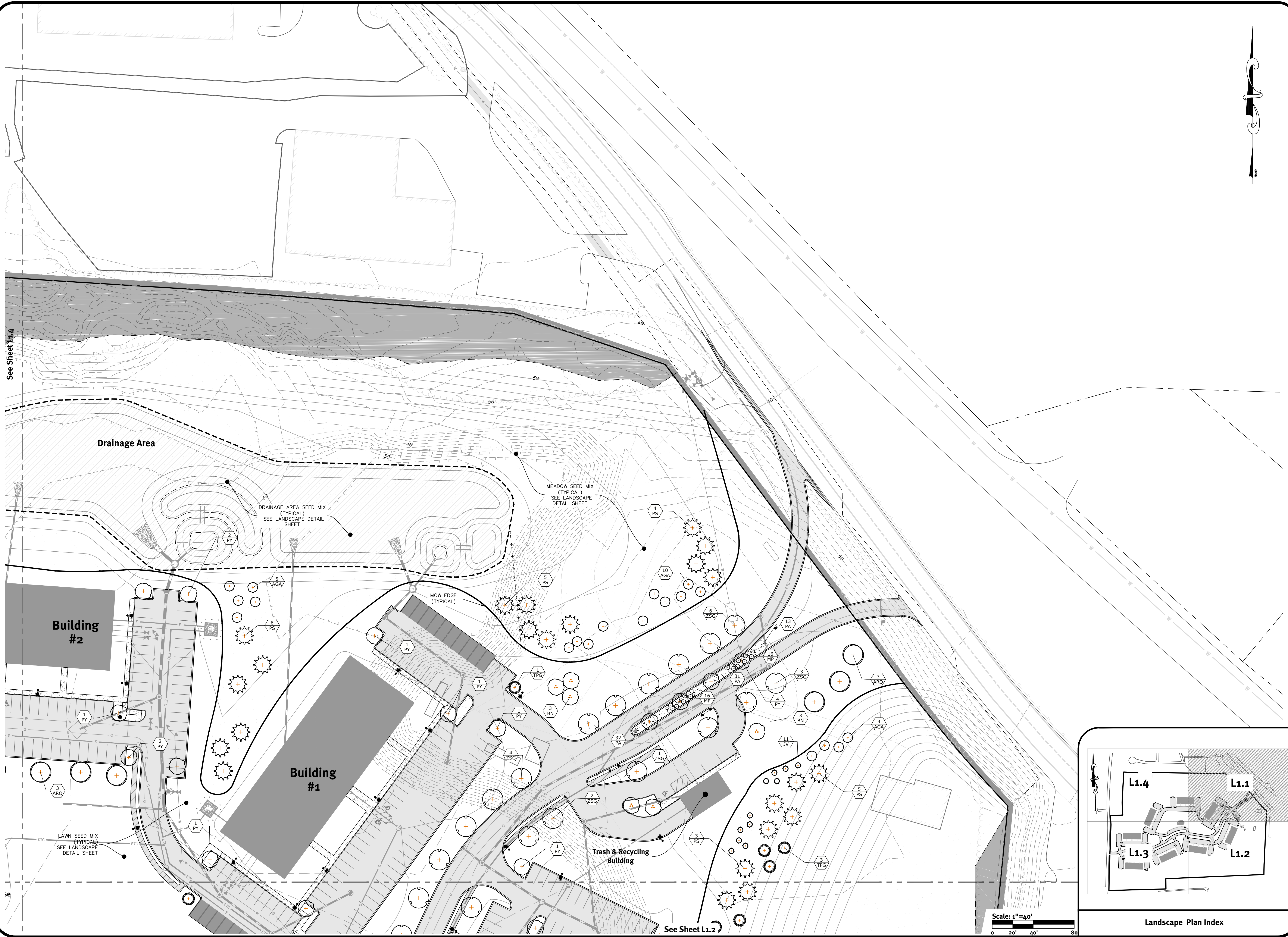
STATEWORKS CERTIFICATION



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tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

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Landscape Plan Index

Landscape Plan - 1

Wampanoag Meadows
 1270 Wampanoag Trail, East Providence, Rhode Island 02903
 Prepared for:
Driscoll Development, LLC
 940 Quaker Lane
 Warwick, RI 02818

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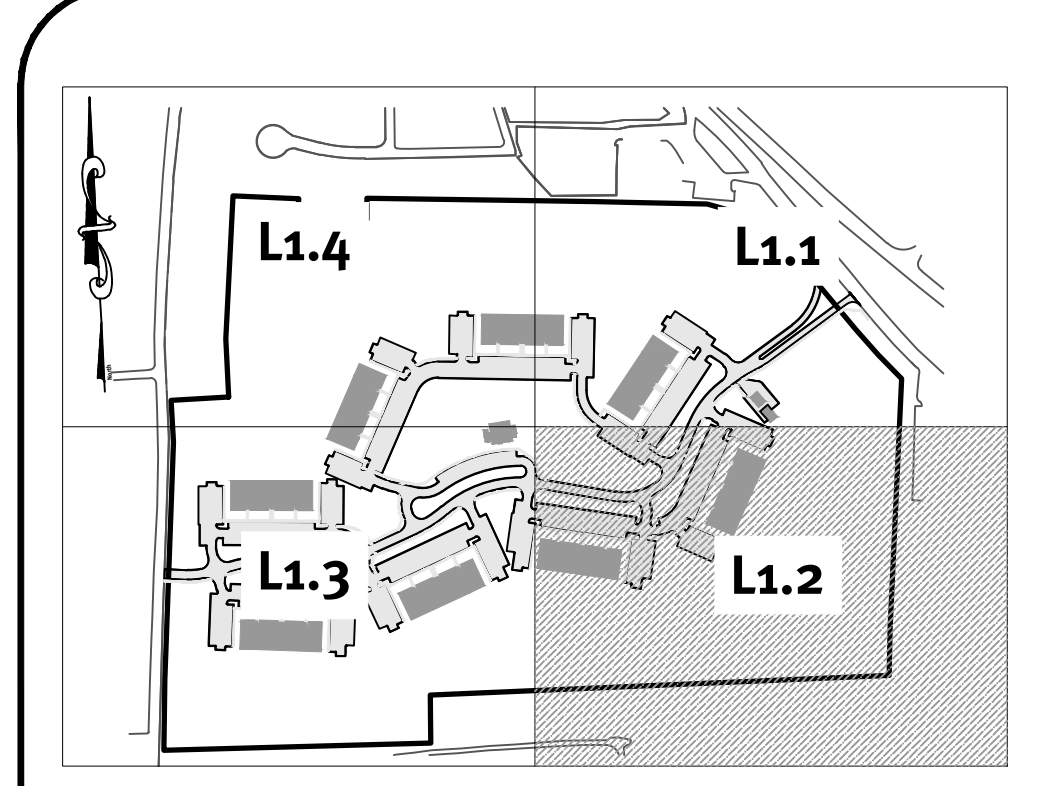
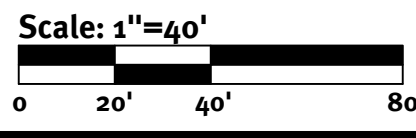
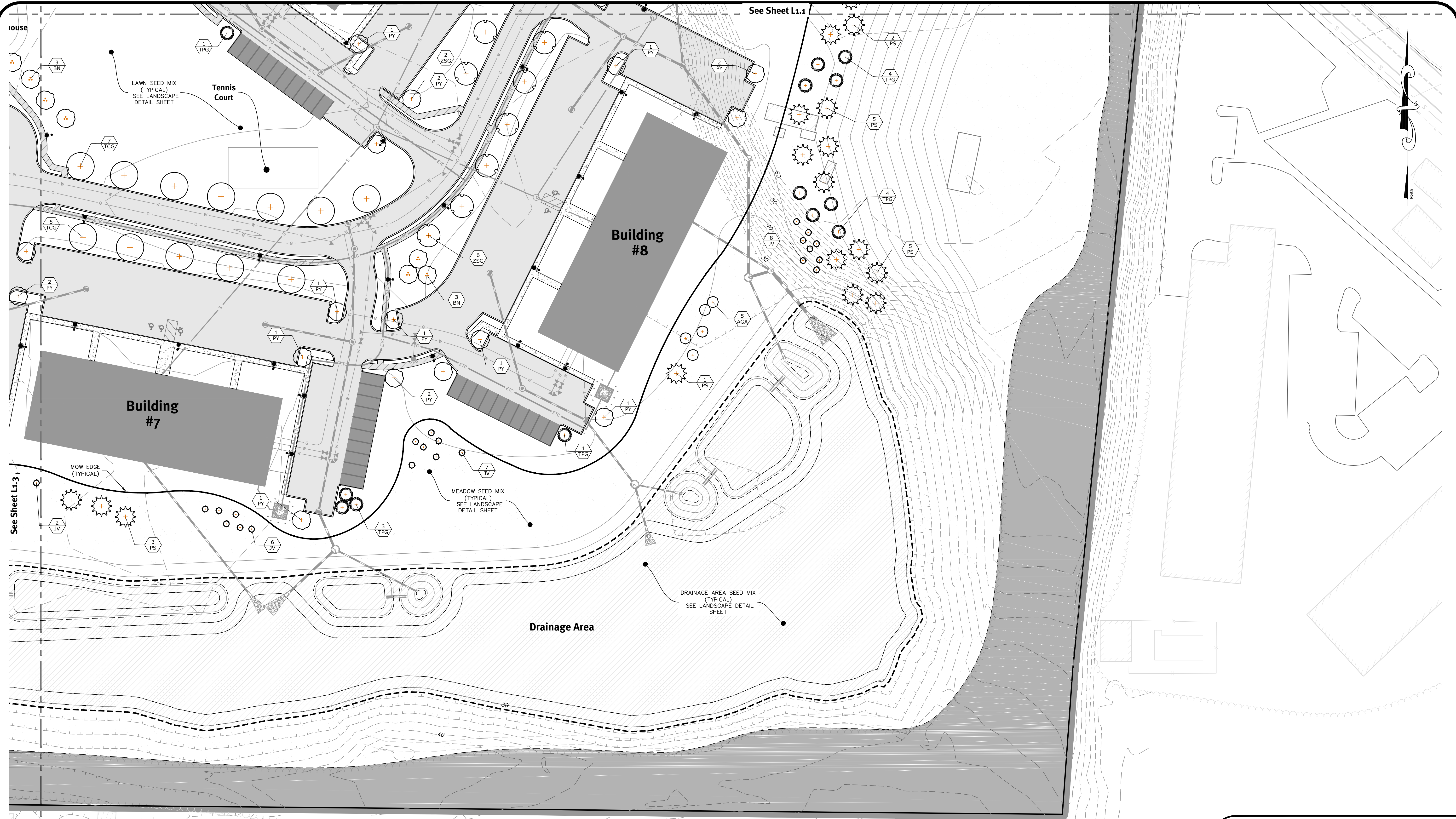
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 DiPrete Engineering does not warrant plans by any other party.
 The contractor is responsible for all of the means, methods, safety and backfilling operations on this plan and is responsible for the implementation of this plan and design.
 DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

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Landscape Plan Index

Landscape Plan - 2

Wampanoag Meadows

Assessors Map: 44- Block 3, Lot 10
1270 Wampanoag Trail, East Providence, Rhode Island 02903
Prepared For:
Driscoll Development, LLC
940 Quaker Lane
Warwick, RI 02888

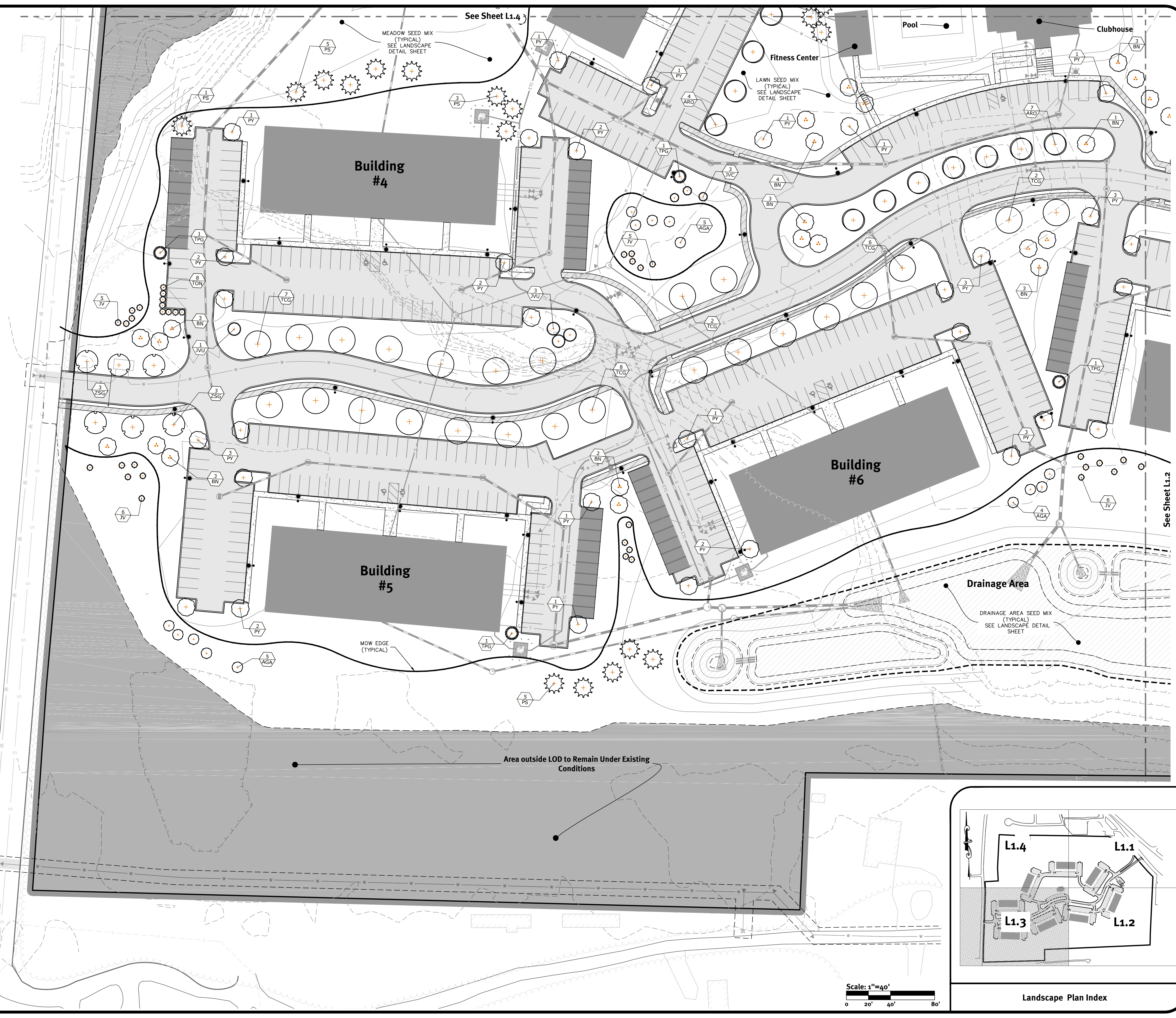
This plan set must not be used for construction purposes unless stamped, issued for construction, and stamped by a registered professional engineer of DiPrete Engineering.
The contractor is responsible for all of the means, methods, safety and site backfilling operations and for the proper installation and implementation of this plan and design.
DiPrete Engineering does not warrant plants by any other party.
DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

APPROVED BY
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ZONING OFFICER
SURVEYOR'S CERTIFICATION



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See Sheet L1.4

See Sheet L1.2

Building #4

Building #5

Building #6

Fitness Center

Clubhouse

Pool

MEADOW SEED MIX (TYPICAL) SEE LANDSCAPE DETAIL SHEET

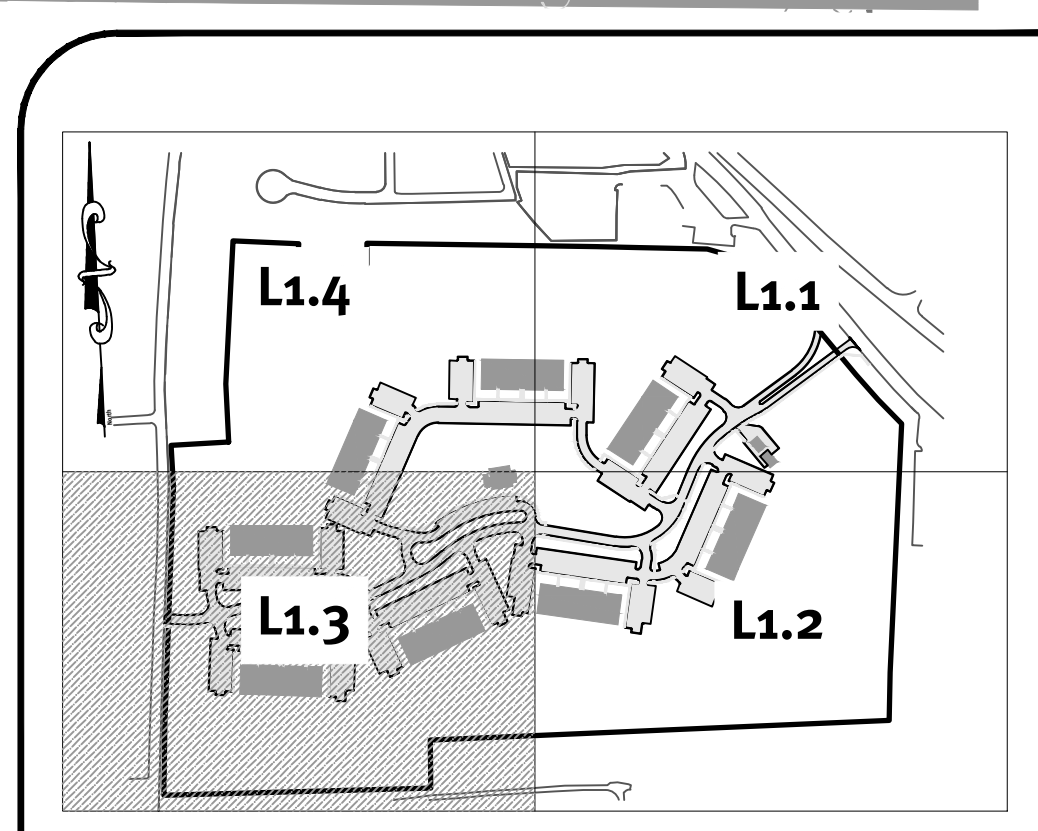
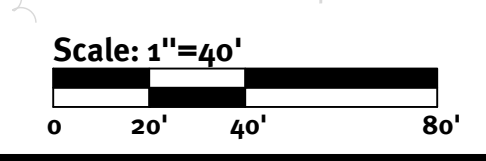
LAWN SEED MIX (TYPICAL) SEE LANDSCAPE DETAIL SHEET

MOW EDGE (TYPICAL)

Drainage Area

DRAINAGE AREA SEED MIX (TYPICAL) SEE LANDSCAPE DETAIL SHEET

Area outside LOD to Remain Under Existing Conditions



Landscape Plan Index

Landscape Plan - 3

Wampanoag Meadows

Assessors: 1851-001, Block 3, Lot 10
1270 Wampanoag Trail, East Providence, Rhode Island 02903

Prepared For: Driscoll Development, LLC

940 Quaker Lane
Warwick, RI 02888

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Rev	Date	Description	Design By: A.S.M.
4	09/16/2021	Preliminary Plan - Response to Comments	AS/M
3	03/03/2021	RD01 Revisions to Comments	AS/M
2	07/29/2020	RD01 Submission	AS/M
1	07/29/2020	RD01 Submission	AS/M
0	02/02/2020	RD00 Submission	D/P
LD			

APPROVED BY

ADMINISTRATIVE OFFICER

ZONING OFFICER

SURVEYOR'S CERTIFICATION

The contractor is responsible for all of the means, methods, safety and implementation of this plan and design.

Engineer's Office shall be responsible for any damages incurred due to implementation of this plan and design.

Engineer assumes no responsibility for damages incurred due to implementation of this plan and design.

Locations of existing utilities. See Utility Note on sheet 3.



DiPrete Engineering

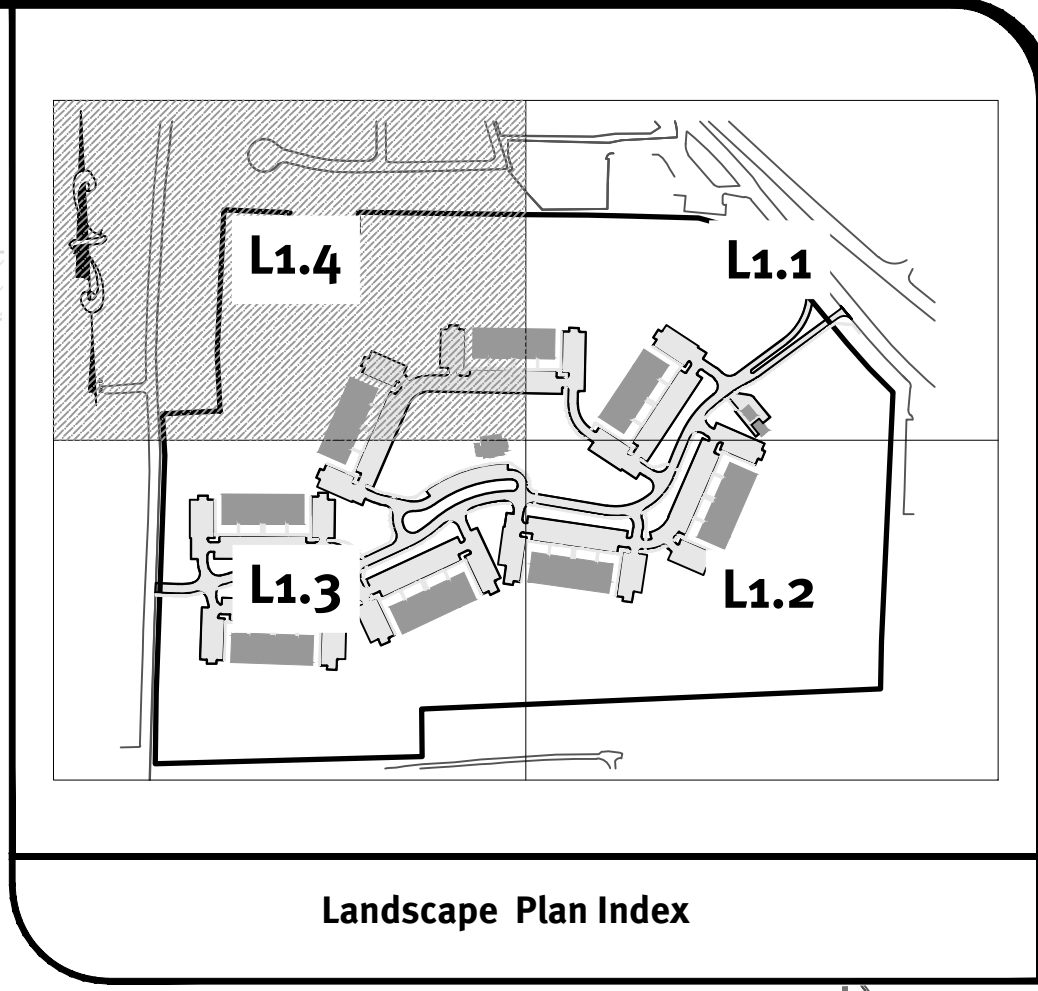
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

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Z:\deman\projects\1851-001_wampanoag\trail\l14of4.dwg (1851-001_l14.dwg) Plotted: 9/16/2021



Scale: 1"=40'
0 20' 40' 80'



See Sheet L1.1

See Sheet L1.3

Landscape Plan - 4
Wampanoag Meadows
Assessors: 1851-001, Block 1, Lot 10
1270 Wampanoag Trail, East Providence, Rhode Island 02903
Prepared For:
Driscoll Development, LLC
940 Quaker Lane
Warwick, RI 02888
DE JOB No. 1851-001. Copyright 2021 by DiPrete Engineering Associates, Inc.

Rev.	Date	Description	Design By: A.S.M.
4	09/16/2021	Preliminary Plan - Response to Comments	ASW
3	03/03/2021	R001 Review of Comments	ASW
2	02/22/2021	R001 Review of Comments	ASW
1	02/22/2021	R001 Submission	5
0	02/22/2021	R000 Submission	ASW
LD		Description	Dpr

Drawn By: A.S.M.

APPROVED BY

ADMINISTRATIVE OFFICER

ZONING OFFICER

SURVEYOR'S CERTIFICATION

(Signature)
ALEXANDRA C. AVERY
NO. 431
LANDSCAPE ARCHITECT



DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com

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PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	
	ARO	26	Acer rubrum 'October Glory'	October Glory Red Maple	B & B	2.5/3" CAL		
	AGA	48	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	B & B		6-7' HT Clump	
	BN	32	Betula nigra	River Birch Multi-Trunk	B & B		8-9' HT	
	JV	60	Juniperus virginiana	Eastern Red Cedar	B & B		6-7' HT	
	JVC	8	Juniperus virginiana 'Canaertii'	Canaerti Juniper	B & B		6-7' HT	
	JVU	4	Juniperus virginiana 'Cupressifolia'	Hillspire Juniper	B & B		6-7' HT	
	PS	57	Pinus strobus	White Pine	B & B		7-8' HT	
	PY	63	Prunus x yedoensis	Yoshino Cherry	B & B	2/2.5" CAL		
	TON	8	Thuja occidentalis 'Nigra'	Black Arborvitae	B & B		6-7' HT	
	TPG	24	Thuja plicata 'Green Giant'	Western Red Cedar	B & B		7-8' HT	
	TCG	37	Tilia cordata 'Greenspire'	Greenspire Linden	B & B	2.5/3" CAL		
	ZSG	30	Zelkova serrata 'Green Vase'	Green Vase Sawleaf Zelkova	B & B	2.5/3" CAL		
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	
	MP	32	Myrica pensylvanica	Northern Bayberry	3/4' B&B			
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	FIELD2	FIELD3	SPACING
	PA	76	Pennisetum alopecuroides	Fountain Grass	1 gal			36" o.c.

Seed Mix Notes:

- DRAINAGE AREA SEED MIX TO BE "NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR MOIST SITES" AVAILABLE AT NEW ENGLAND WETLAND PLANTS, INC. IN AMHERST, MA OR EQUIVALENT AT A RATE OF 35 LBS/ACRE.
- MEADOW SEED MIX TO BE "NEW ENGLAND NATIVE WARM SEASON GRASS MIX" AVAILABLE AT NEW ENGLAND WETLAND PLANTS, INC. IN AMHERST, MA OR EQUIVALENT AT A RATE OF 23 LBS/ACRE.
- LAWN SEED MIX TO BE "ENDOPHYTE ENHANCED MIX" AVAILABLE AT ALLEN'S SEED IN EXETER, RI OR EQUIVALENT AT A RATE OF 5/7 LBS/1,000 SF.

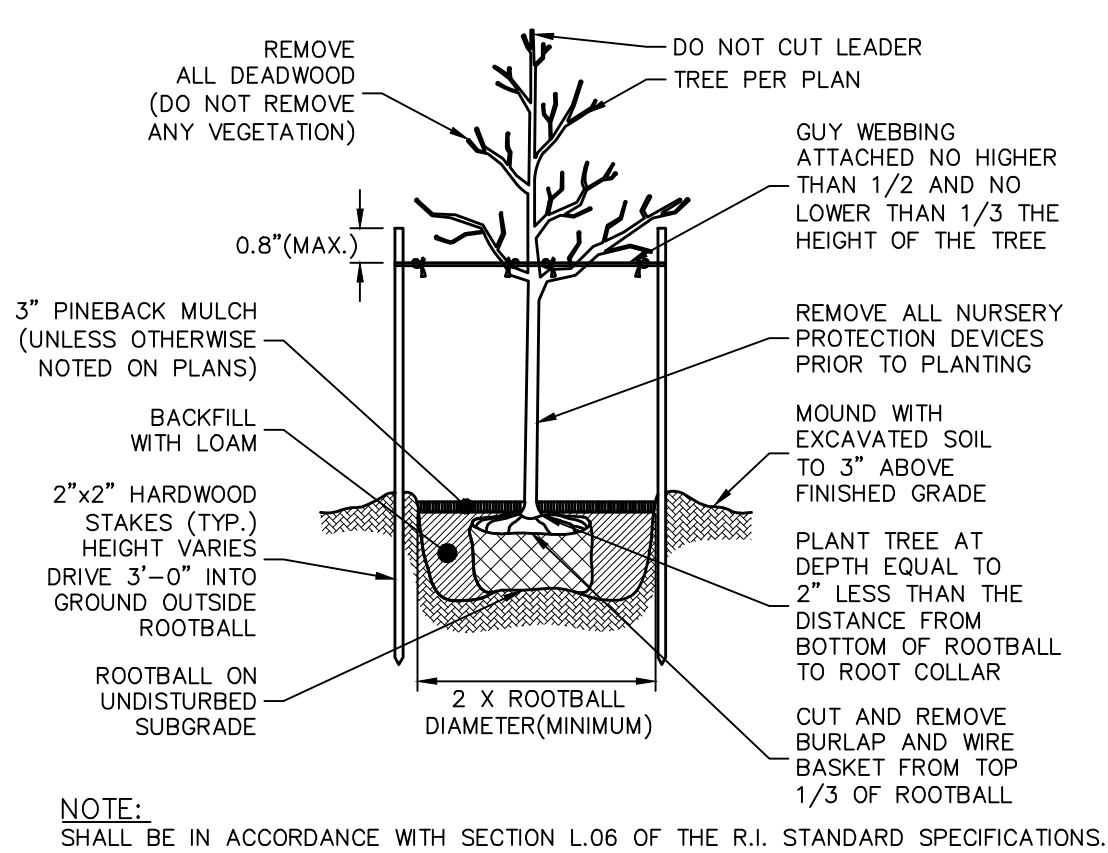
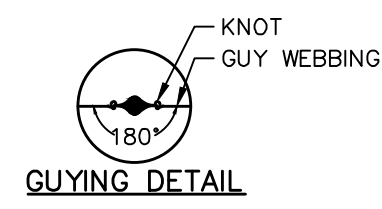
City of East Providence Chapter 19 Zoning

Sec. 19-454. Development and landscaping design standards.
 (c) LANDSCAPING STANDARDS.
 (3) SHADE TREES.
 a. LOCATION. SHADE TREES SHALL BE EITHER PLANTED OR MAINTAINED AT INTERVALS OF NO MORE THAN 35 FEET ALONG BOTH SIDES OF ALL NEW OR EXISTING STREETS ADJUTING A DEVELOPMENT SITE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. THE DPR COMMITTEE MAY PERMIT SPACING OF TREES AT GREATER INTERVALS WHERE THE APPLICANT DEMONSTRATES TO THE SATISFACTION OF THE DPR COMMITTEE THAT SUCH A SPACING IS NECESSARY FOR THE PRESERVATION OF LARGE EXISTING TREES OR OTHER PLANTING OF LARGE TREE SPECIMENS.
 SHADE TREES ARE PROPOSED TO BE PLANTED AT INTERVALS OF NO MORE THAN 35 FEET ALONG BOTH SIDES OF ALL NEW STREETS WERE FEASIBLE.
 b. TREE TYPE. TREE TYPE MAY VARY DEPENDING ON OVERALL EFFECT DESIRED, BUT AS A GENERAL RULE, ALL TREES ON A STREET SHALL BE THE SAME KIND EXCEPT TO ACHIEVE SPECIAL EFFECTS IN SELECTION OF TREE TYPES REFERENCE SHOULD BE MADE TO TREE TYPES RECOMMENDED IN THE LAND DEVELOPMENT AND SUBDIVISION REVIEW REGULATIONS OR OF A VARIETY APPROVED BY THE SUPERINTENDENT OF PARKS.
 c. PLANTING SPECIFICATIONS. STREET TREES SHALL HAVE A MINIMUM CALIPER OF 2 1/2 INCHES AT TIME OF PLANTING, AND BE NURSERY GROWN, OF SUBSTANTIALLY UNIFORM SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS. STREET TREES WITH THE EXCEPTION OF ORNAMENTAL TREES, SHALL HAVE OR WILL HAVE, WHEN FULLY MATURE, A MINIMUM CALIPER OF 12 INCHES. TREES SHALL BE PROPERLY PLANTED AND STAKED AND PROVISION MADE BY THE DEVELOPER FOR REGULAR WATERING AND MAINTENANCE UNTIL THEY ARE ESTABLISHED. DEAD AND DISEASED TREES SHALL BE REMOVED AND REPLACED BY THE OWNER ON AT LEAST AN ANNUAL BASIS. FAILURE TO PROPERLY MAINTAIN STREET TREES SHALL RESULT IN SUCH WORK BEING PERFORMED BY THE CITY AT THE OWNER'S EXPENSE.
 STREET TREES PROPOSED SHALL HAVE A MINIMUM CALIPER OF 2 1/2 INCHES AT TIME OF PLANTING, AND BE NURSERY GROWN, OF SUBSTANTIALLY UNIFORM SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS AND WHEN FULLY MATURE, A MINIMUM CALIPER OF 12 INCHES.
 (4) BUFFERING.
 c. MINIMUM AMOUNT REQUIRED.
 1. A FIVE-FOOT BUFFER STRIP OF GRASS OR OTHER VEGETATION IS REQUIRED AROUND THE ENTIRE PERIMETER OF THE SITE, EXCEPT FOR ANY CURB CUTS.
 A FIVE-FOOT OR GREATER BUFFER STRIP OF EXISTING VEGETATION IS PROPOSED AROUND THE ENTIRE PERIMETER OF THE SITE.
 (5) PARKING AREA LANDSCAPING REQUIREMENTS.
 a. TREES SHALL BE PLANTED WITHIN THE PLANTING STRIP OR IN SIDEWALK AREAS AS MAY BE APPROPRIATE, AT INTERVALS OF NO MORE THAN 35 FEET, AND SHALL HAVE A MINIMUM CALIPER AT TIME OF PLANTING OF 2 1/2 INCHES. THE DPR COMMITTEE MAY PERMIT SPACING OF TREES AT GREATER INTERVALS WHERE THE APPLICANT DEMONSTRATES TO THE SATISFACTION OF THE DPR COMMITTEE THAT SUCH A SPACING IS NECESSARY FOR THE PRESERVATION OF LARGE EXISTING TREES OR THE PLANTING OF LARGE TREE SPECIMENS.
 PROPOSED TREES ARE PROPOSED TO BE PLANTED WITHIN THE PLANTING STRIP OR IN SIDEWALK AREAS WHERE FEASIBLE, AT INTERVALS OF NO MORE THAN 35 FEET, AND SHALL HAVE A MINIMUM CALIPER AT TIME OF PLANTING OF 2 1/2 INCHES.

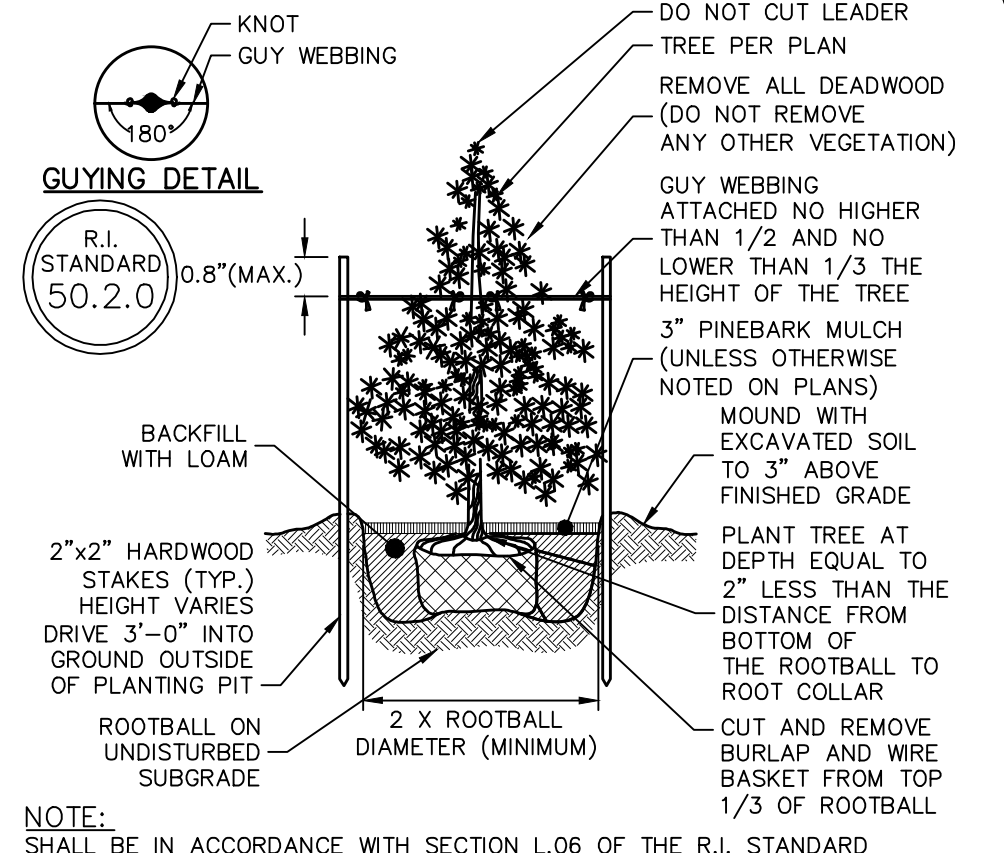
b. THE INTERIOR OF PARKING AREAS SHALL BE SUITABLY LANDSCAPED WITH TREES, SHRUBS, PLANTS OR OTHER LIVE VEGETATION. IN ADDITION TO THE REQUIRED BUFFER STRIP A MINIMUM OF TEN SQUARE FEET OF LANDSCAPING FOR EACH PARKING SPACE SHALL BE PROVIDED WITHIN THE INTERIOR OF ANY OFF-STREET PARKING AREA. EACH ROW OF PARKING SPACES SHALL BE TERMINATED BY LANDSCAPED ISLANDS WHICH MEASURE NOT LESS THAN FIVE FEET IN WIDTH AND NOT LESS THAN 18 FEET IN LENGTH. THE INTERIOR OF THE PARKING AREA SHALL INCORPORATE LANDSCAPED AREAS IN APPROPRIATE LOCATIONS IN ORDER TO PREVENT LONG, UNINTERRUPTED ROWS OF PARKING SPACES. SUCH LANDSCAPED ISLANDS MAY BE INCLUDED IN CALCULATING THE REQUIRED LANDSCAPED AREA. MANDATORY TERMINAL ISLANDS SHALL BE SURROUNDED WITH CONTINUOUS RAISED CURBING. INTERIOR ISLANDS AND DIVIDER MEDIANS SHALL BE PROTECTED FROM ENCRoACHMENT OF MOTOR VEHICLES IN A MANNER APPROVED BY THE DPR COMMITTEE. PEDESTRIAN PATHS MAY BE INCORPORATED WITHIN THE LANDSCAPED AREA PROVIDED A MINIMUM DIMENSION OF FOUR FEET, EXCLUSIVE OF PAVED AREAS, IS MAINTAINED FOR ALL LANDSCAPED AREAS.
 INTERIOR PARKING AREAS ARE PROPOSED TO BE SUITABLY LANDSCAPED WITH TREES, SHRUBS, PLANTS OR OTHER LIVE VEGETATION WHERE FEASIBLE.

c. THE INTERIOR OF PARKING AREAS SHALL BE SHADED BY DECIDUOUS TREES (EITHER RETAINED OR PLANTED BY THE DEVELOPER) THAT HAVE OR WILL HAVE WHEN FULLY MATURE A TRUNK AT LEAST 12 INCHES IN DIAMETER. THE MINIMUM CALIPER OF NEW TREES AT TIME OF PLANTING SHALL BE AT LEAST 2 1/2 INCHES. AT MATURITY, EACH TREE SHALL BE PRESUMED TO SHADE A CIRCULAR AREA HAVING A RADIUS OF 15 FEET WITH THE TRUNK AS THE CENTER, AND THERE MUST BE SUFFICIENT TREES SO THAT, USING THIS STANDARD, 20 PERCENT OF THE PARKING AREA WILL BE SHADED. TREES SHALL BE LOCATED SO THAT THEY ARE SURROUNDED BY AT LEAST 180 SQUARE FEET OF UNPAVED AREA, WHICH MAY BE COUNTED TOWARDS CALCULATING THE REQUIRED LANDSCAPED AREA. PARKING AREAS SHALL BE LAID OUT AND DETAILED TO PREVENT VEHICLES FROM STRIKING TREES AND TO PROVIDE FOR THE HEALTHY GROWTH OF THE SELECTED TREE SPECIES. VEHICLES WILL BE PRESUMED TO HAVE A BODY OVERHANG OF THREE FEET SIX INCHES.
 INTERIOR PARKING AREAS ARE PROPOSED TO BE SHADED BY DECIDUOUS TREES HAVING A RADIUS OF 15 FEET, WITH SUFFICIENT TREES SO THAT 20 PERCENT OF THE PARKING AREA WILL BE SHADED AND TREES ARE PROPOSED TO BE LOCATED SO THAT THEY ARE SURROUNDED BY AT LEAST 180 SQUARE FEET OF UNPAVED AREA WHERE FEASIBLE.

d. THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE LANDSCAPING OF A PARKING AREA IN A NEAT AND ATTRACTIVE MANNER. ONLY NURSERY-GROWN PLANT MATERIALS SHALL BE ACCEPTABLE, AND ALL PLANTINGS SHALL BE INSTALLED ACCORDING TO ACCEPTED HORTICULTURAL STANDARDS. THE OWNER SHALL BE RESPONSIBLE FOR WATERING PLANTINGS REGULARLY AND SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL DEAD OR DISEASED PLANTINGS ON AT LEAST AN ANNUAL BASIS. FAILURE TO ADEQUATELY MAINTAIN REQUIRED PLANTINGS MAY RESULT IN THE CITY PERFORMING REQUIRED MAINTENANCE AT THE EXPENSE OF THE LANDOWNER.



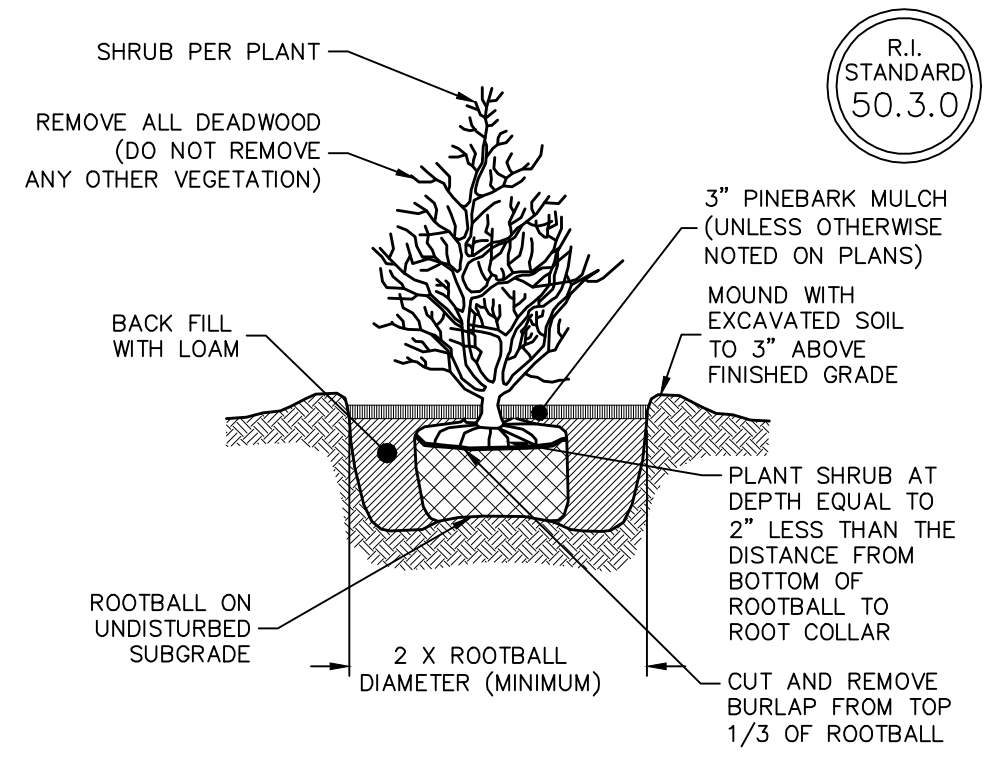
Large Tree Staking and Planting Detail (2" Caliper and Greater)
NOT TO SCALE



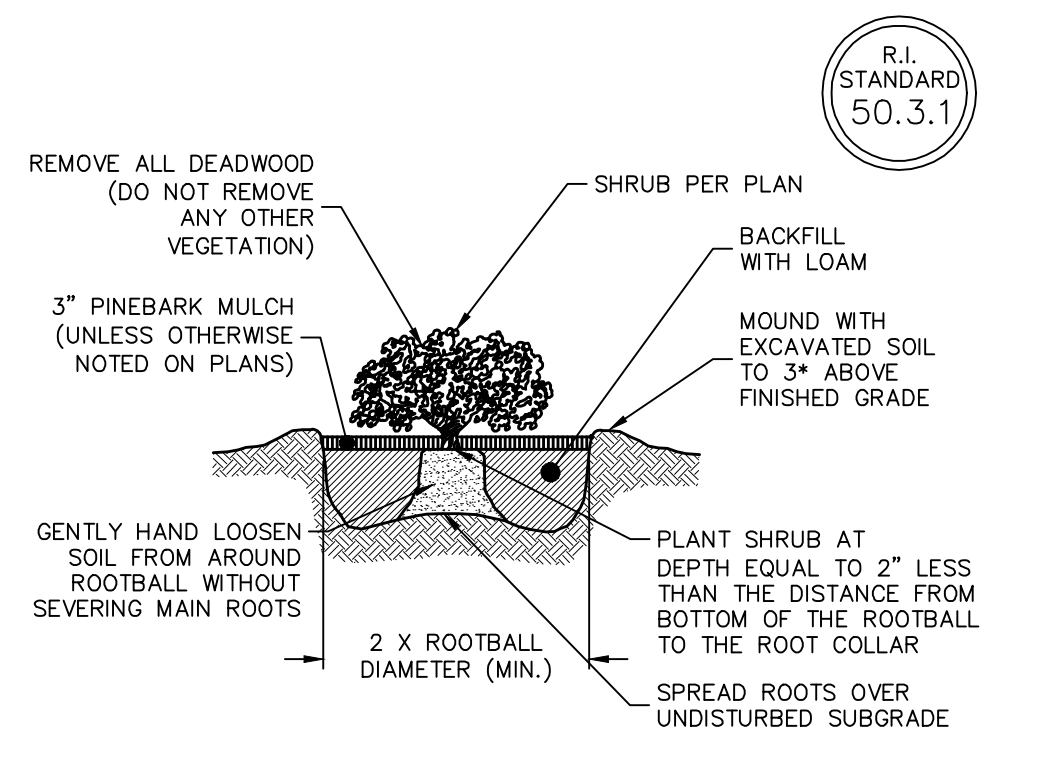
Evergreen Tree Planting Detail (4'-0" High and Greater)
NOT TO SCALE

Landscape Notes:

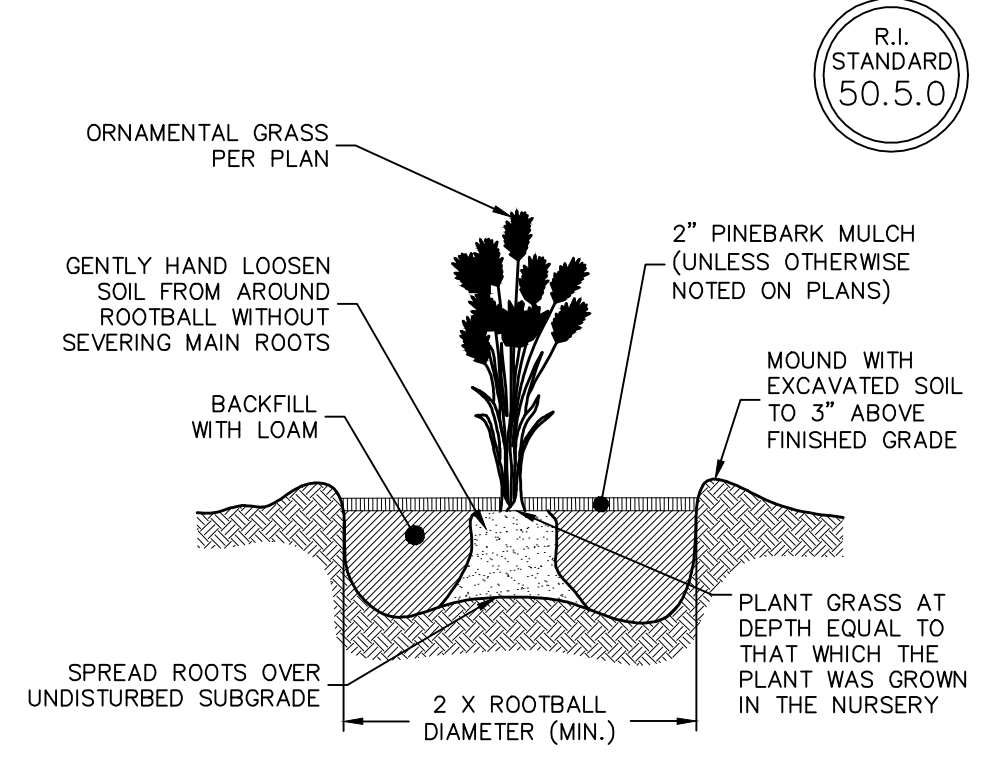
- SITE INFORMATION TAKEN FROM PLANS PREPARED BY DIPRETE ENGINEERING. SEE ENGINEERING PLANS FOR MORE DETAIL.
- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE (811) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
- CONTRACTOR TO PROVIDE A ONE (1) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR ONE (1) GROWING SEASON. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
- ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
- PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
- CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
- ALL PLANTS TO RECEIVE A MINIMUM OF TWO (2) INCHES OF MULCH AND SHALL COVER PLANTING BEDS AS SHOWN ON DRAWINGS.
- TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
- CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS USING THE ENDOPHYTE ENHANCED GRASS SEED MIX AT A RATE OF 5-7 LBS. PER 1,000 SF (AVAILABLE AT ALLEN'S SEED IN EXETER, RI) OR AS DIRECTED BY TOWN. ANY SOIL (TURF) UTILIZED SHALL BE DROUGHT TOLERANT ENDOPHYTES OR PREDOMINANTLY FESCUE IN CHARACTER.
- RECOMMENDED DATES FOR PLANTING ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
- ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
- LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNER'S PERMISSION. NEW LOAM SHALL BE FRIABLE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS FOR HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY, LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6 INCH DEPTH.
- ANY DISTURBED AREA DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL STATE BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT.
- ALL PLANTING AREAS SHALL BE COVERED BY AN UNDERGROUND IRRIGATION SYSTEM BY OTHERS.
- LIGHTING PHOTOMETRICS/DESIGN BY OTHERS.
- THIS PLAN IS FOR LANDSCAPE PLANTING ONLY.



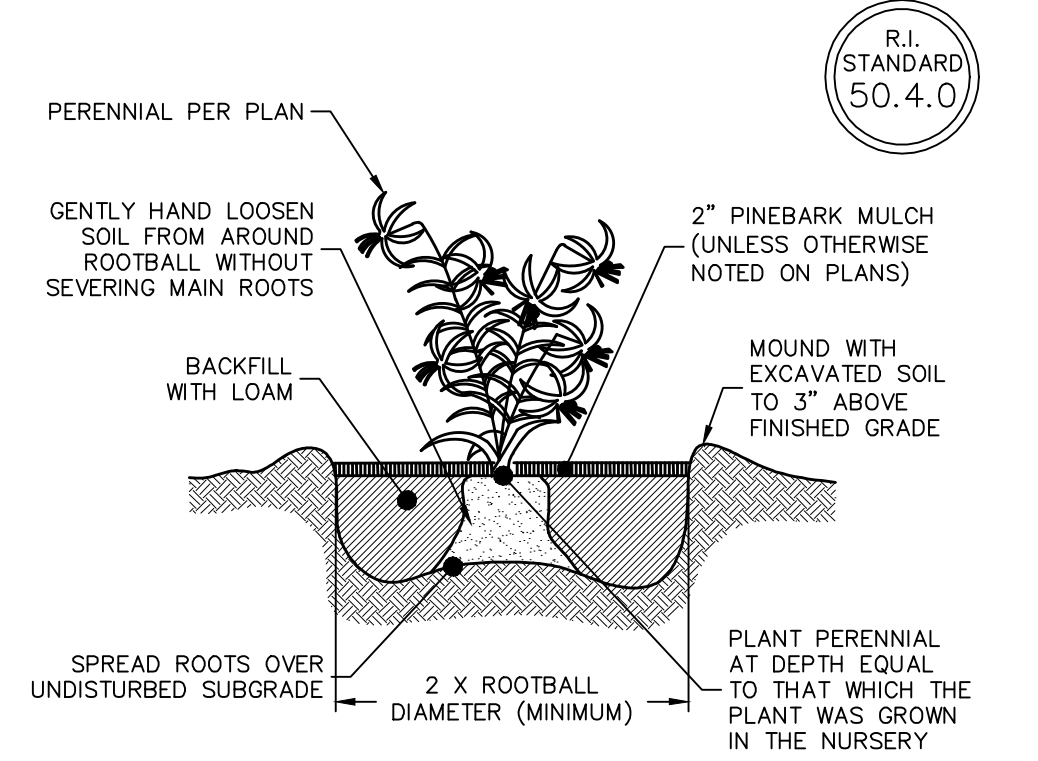
Ball and Burlap Shrub Planting Detail
NOT TO SCALE



Container Grown Shrub Planting Detail
NOT TO SCALE



Ornamental Grass Planting Detail
NOT TO SCALE



Perennial Planting Detail
NOT TO SCALE

Diprete Engineering
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APPROVED BY: [Signature]

ADMINISTRATIVE OFFICER: [Signature]

ZONING OFFICER: [Signature]

CONTRACTOR'S CERTIFICATION: [Signature]

This plan set must not be used for construction purposes unless stamped, issued for construction, and stamped by a registered professional Engineer of Diprete Engineering.

The contractor is responsible for all of the means, methods, safety and implementation of this plan and design.

Engineer assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

No.	Date	Description	Drawn By	Design By
1	02/09/2021	PRELIMINARY PLAN - RESPONSE TO COMMENTS	ASW	ASW
2	03/07/2021	REVISIONS TO PRELIMINARY PLAN	ASW	ASW
3	03/07/2021	REVISIONS TO PRELIMINARY PLAN	ASW	ASW
4	04/07/2021	REVISIONS TO PRELIMINARY PLAN	ASW	ASW
5	04/07/2021	REVISIONS TO PRELIMINARY PLAN	ASW	ASW
6	04/07/2021	REVISIONS TO PRELIMINARY PLAN	ASW	ASW

Landscape Notes & Details

Wampanoag Meadows
 Assessors Lot 7th Block 3
 1279 Wampanoag Trail, East Providence, Rhode Island 02903

Prepared For: **Driscoll Development, LLC**
 940 Quaker Lane
 Warwick, RI 02888

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