

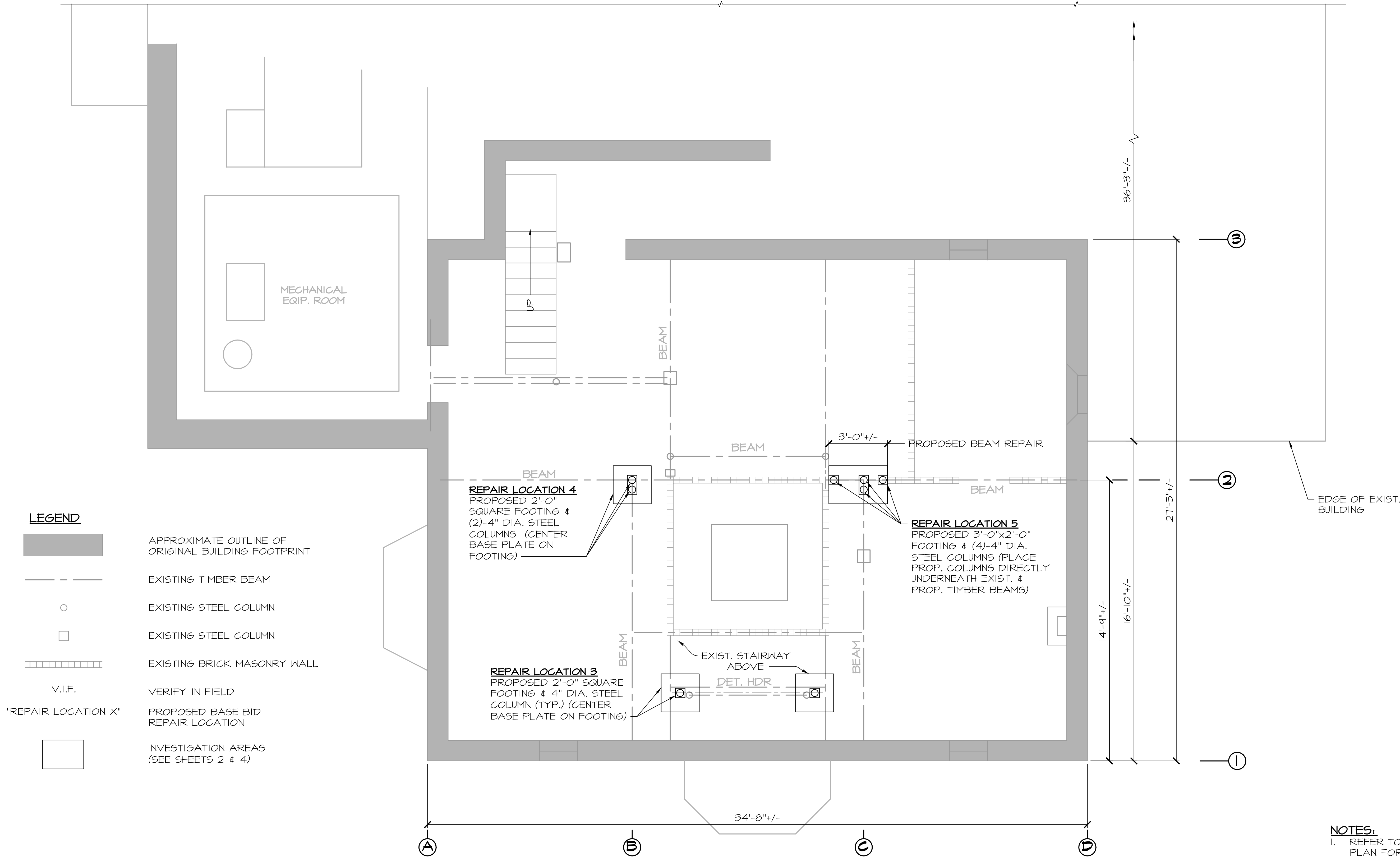


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- NOTES:**
- REFER TO FIRST FLOOR FRAMING PLAN FOR PROPOSED WORK IN BASEMENT LEVEL.
 - SEE SHEET 6 FOR PROPOSED COLUMN AND FOOTING DETAILS.
 - SEE SHEET 3 FOR REPAIR LOCATIONS 1 THRU 3.



BASEMENT FLOOR PLAN
SCALE: 3/8"=1'-0"

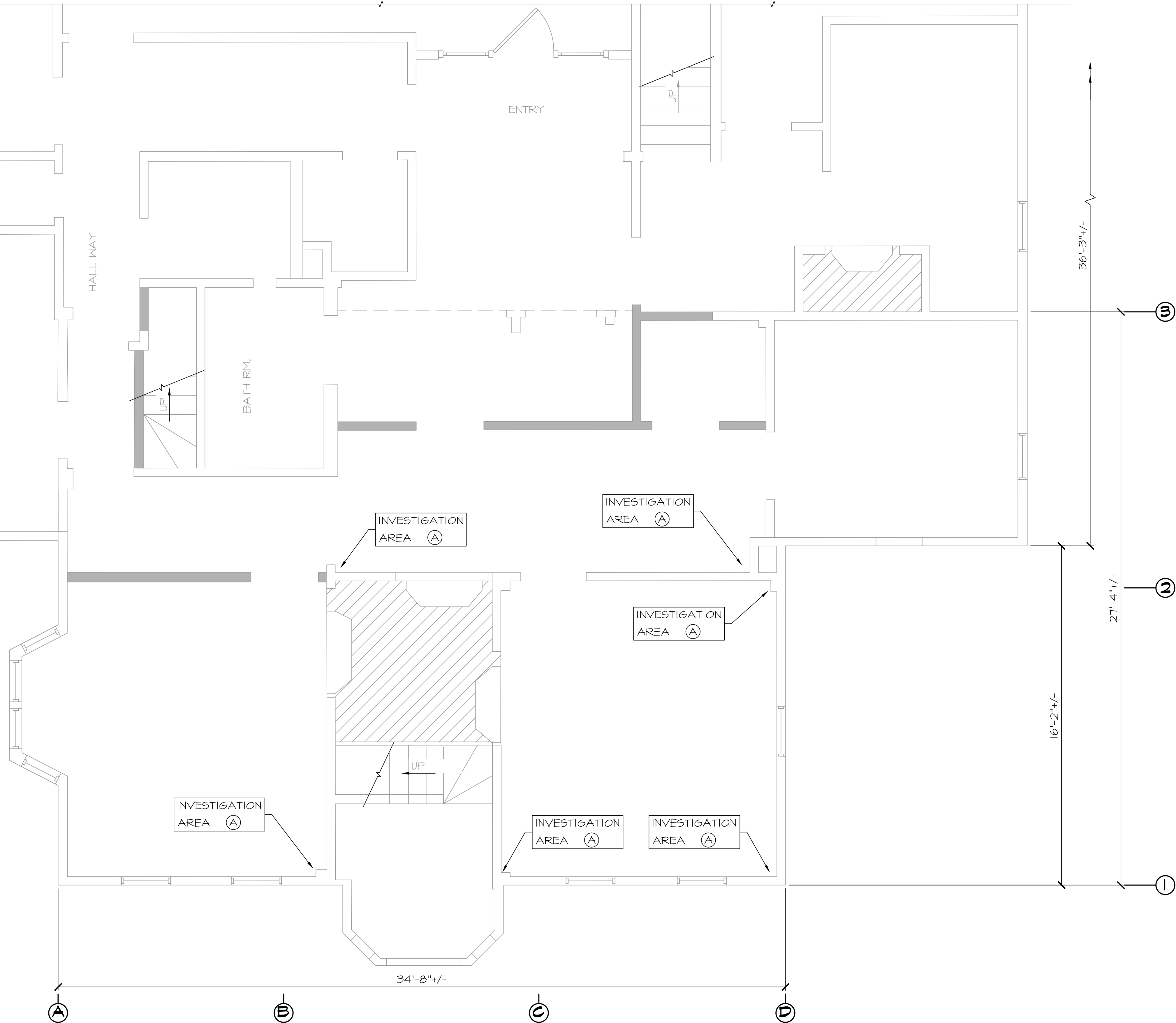
- LEGEND**
- APPROXIMATE OUTLINE OF ORIGINAL BUILDING FOOTPRINT
 - EXISTING TIMBER BEAM
 - EXISTING STEEL COLUMN
 - EXISTING STEEL COLUMN
 - EXISTING BRICK MASONRY WALL
 - V.I.F. VERIFY IN FIELD
 - "REPAIR LOCATION X" PROPOSED BASE BID REPAIR LOCATION
 - INVESTIGATION AREAS (SEE SHEETS 2 & 4)

LEGEND

PROPOSED WALL
(NOT IN CONTRACT)

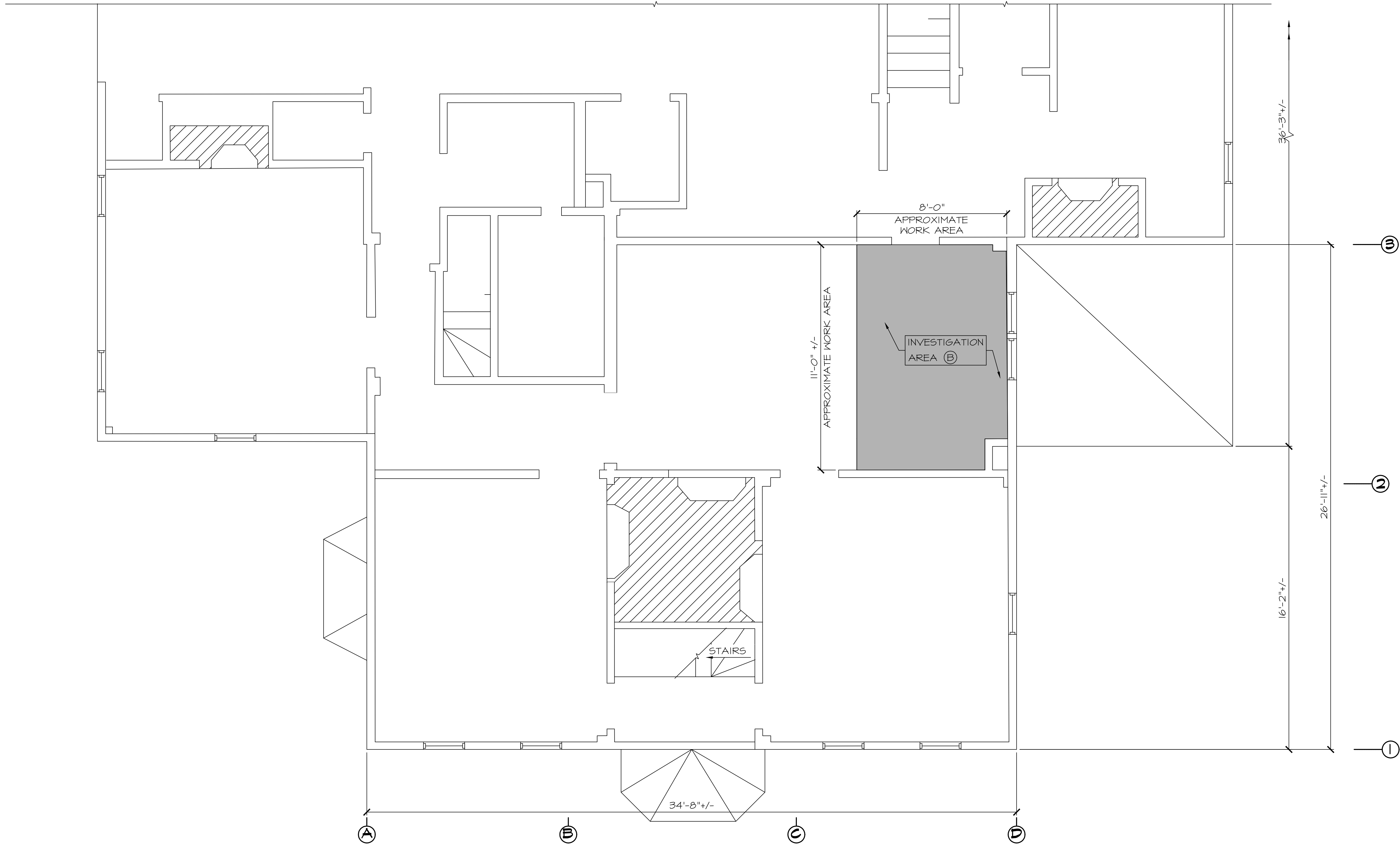
EXIST. FIREPLACE OR CHIMNEY

- NOTES:**
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED WALLS AND MODIFICATIONS NOT INCLUDED IN CONTRACT.
 - SEE SHEET 8 (REPAIR DETAILS SHEET 3) FOR INVESTIGATION AREA (A) DETAILS AND NOTES.



FIRST FLOOR PLAN
SCALE: 3/8"=1'-0"

P:\02\0202\020202 Sweetland House\Drawings\Second Floor.dwg 10/20/2021 9:54:44 AM JTA



SECOND FLOOR PLAN
SCALE: 3/8"=1'-0"

NOTE:
SEE "REPAIR DETAILS SHEET 3"
FOR INVESTIGATION AREA (B)
DETAILS AND NOTES

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SECOND FLOOR PLAN
AS SHOWN
SCALE: AUGUST 2021
DATE: 021034.00
PROJECT NO:

THE SWEETLAND HOUSE
610 WATERMAN AVE.
EAST PROVIDENCE, RHODE ISLAND



COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
260 WEST EXCHANGE STREET
PROVIDENCE, RI 02903

GENERAL NOTES:

- THE CONTRACTOR SHALL CONFIRM WITH THE DIRECTOR AND CITY AND OBTAIN ALL PERMITS AND INSPECTIONS NECESSARY TO INSURE ISSUANCE OF AN OCCUPANCY PERMIT AT COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL MAINTAIN ALL INSURANCE REQUIRED BY THE OWNER AND/OR GOVERNMENTAL AUTHORITIES AND SHALL PROVIDE PROOF OF SUCH INSURANCE AS REQUIRED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF RHODE ISLAND STATE BUILDING CODE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, CITY OF EAST PROVIDENCE REQUIREMENTS, AND AS NOTED. WHERE CONFLICTS OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL BE MET.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING AND SHORING OF ALL WORK DURING CONSTRUCTION.
- PLANS OF THE ORIGINAL BUILDING ARE NOT AVAILABLE. THESE DETAILS HAVE BEEN PREPARED BASED ON INFORMATION GATHERED IN THE FIELD AND REASONABLE ENGINEERING ASSUMPTIONS AND THEREFORE THEY ARE NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DETAILS PRIOR TO CONSTRUCTION ANY DEVIATIONS OBSERVED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
- EXISTING UTILITIES HAVE NOT BEEN SHOWN FOR CLARITY. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES AND COORDINATE THEIR TEMPORARY/PERMANENT SHUT-OFF AND OR RELOCATION AS NEEDED. ABANDONED UTILITIES IN VICINITY OF THE WORK SHALL BE REMOVED AND DISPOSED.

STRUCTURAL STEEL, BOLTS AND WELDS:

- ALL STEEL WORK SHALL COMPLY WITH AISC "SPECIFICATIONS AND CODE OF STANDARD PRACTICE" AND AWS D1.1 "STRUCTURAL WELDING CODE".
- ALL WELDERS SHALL HOLD VALID CERTIFICATES AND HAVE CURRENT EXPERIENCE IN THE TYPE OF WELD SPECIFIED. CERTIFICATES SHALL BE THOSE ISSUED BY ACCEPTED TESTING AGENCY.
- WELDING ELECTRODES SHALL BE E-70 SERIES.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING:
ROLLED SECTIONS: ASTM A992, Fy=50 KSI.
PLATES AND ANGLES: ASTM A36, Fy=36 KSI
BOLTS FOR STEEL TO STEEL CONNECTIONS: ASTM A325
ALL OTHER BOLTS AND ANCHORS: ASTM A307 OR A36 STEEL.
- STRUCTURAL STEEL TUBES SHALL ASTM A500 GRADE B.
- STRUCTURAL STEEL SHALL RECEIVE ONE COAT SHOP PRIMER AND FINISHED WITH TWO COATS OF PAINT. COLOR SHALL BE SELECTED BY THE OWNER.
- SHOP WELD ALL COLUMN BASE PLATES TO THE STRUCTURAL COLUMN SECTION AND FURNISH AND SHIP LOOSE 1/4" LEVELING PLATES OF THE SAME CONFIGURATION FOR SETTING ON THE PROPOSED FOOTINGS PRIOR TO ERECTION.

CONCRETE NOTES:

- CONCRETE FOR FLOOR SLABS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE OF F'C = 5,000 PSI AND MAXIMUM AGGREGATE SIZE OF 3/4".
- CONCRETE FOR FOOTINGS SHALL BE HIGH EARLY STRENGTH CONCRETE CAPABLE OF ACHIEVING 3,500 PSI COMPRESSIVE STRENGTH IN 24 HOURS, AND A MAX AGGREGATE SIZE OF 3/4"
- REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS.

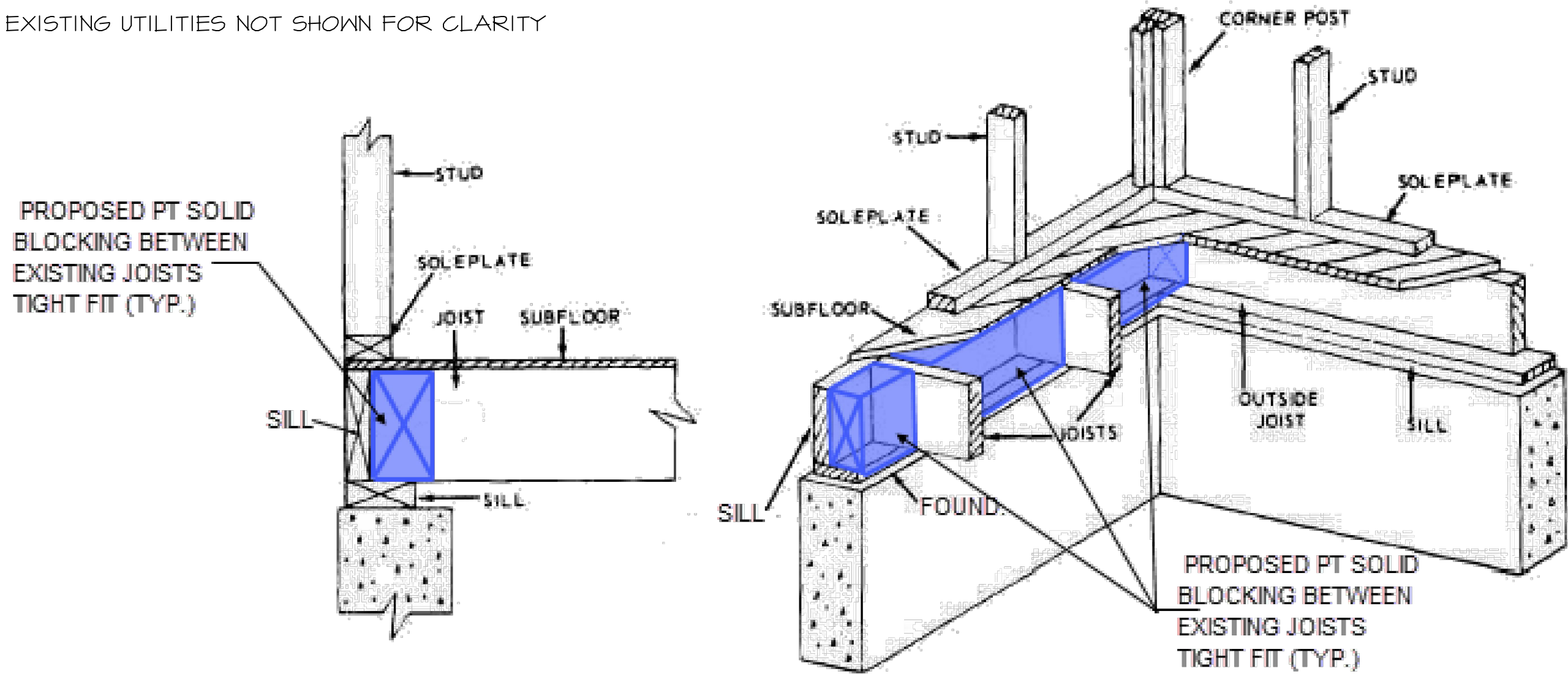
TIMBER CONSTRUCTION NOTES

- ALL TIMBER SHALL BE PRESSURE IN ACCORDANCE WITH AMERICAN WOOD PROTECTION ASSOCIATION (AWPA).
- ALL TIMBER JOISTS, BEAMS, RAILING COMPONENTS SHALL BE TREATED WITH PRESERVATIVES TO THE REQUIREMENTS FOR AN ABOVE GROUND, EXPOSED SERVICE CONDITION (UC3B) IN ACCORDANCE WITH AWPA STANDARD U1 OR ICC-ES EVALUATION REPORTS.
- GROUND CONTACT POSTS SHALL BE TREATED WITH PRESERVATIVES TO THE REQUIREMENTS FOR GROUND CONTACT/FRESHWATER, GENERAL USE SERVICE CONDITIONS (UC4A) IN ACCORDANCE WITH AWPA STANDARD U1 OR ICC-ES EVALUATION REPORTS.
- BUILT-UP BEAMS, RAILS, POSTS AND DECKING, 2x4 thru 2x12, AND 4x6 SHALL BE SOUTHERN PINE, GRADE NO. 1 OR BETTER.
- ALL CONNECTION HARDWARE, NUTS, BOLTS, WASHERS, STEEL PLATES, ETC. SHALL BE GALVANIZED PER CURRENT STATE SPECIFICATIONS AND/OR AASHTO SPECIFICATION M232.
- ALL BOLTS SHALL BE ASTM A307 OR AS ALTERNATE F3125, GRADE A325.
- ALL BOLTED CONNECTIONS SHALL INCLUDE WASHERS AT BOLT HEADS AND NUTS.
- LAG SCREWS SHALL BE LOW CARBON STEEL, ASTM A307 OR BETTER.
- DECKING SCREWS SHALL BE SELF TAPPING WITH CORROSION RESISTANT FINISH.
- TIMBER WHICH AT THE DISCRETION OF THE ENGINEER IS SEVERELY WARPED, BOWED, SPLIT OR SPLINTERED SHALL NOT BE USED.

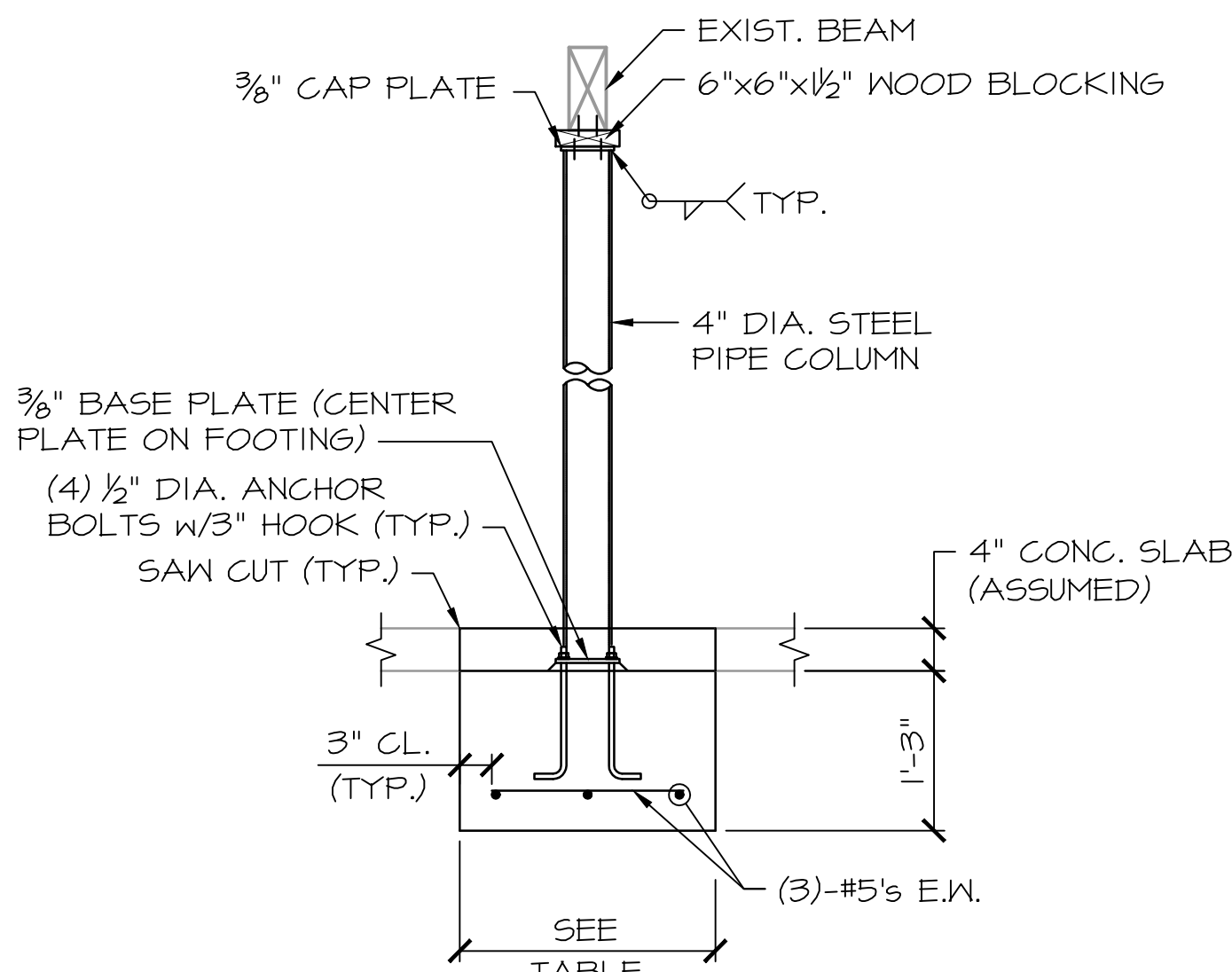
BRIEF SCOPE OF WORK:

- THE WORK SHALL CONSIST OF STRUCTURAL REPAIRS TO PORTIONS OF THE EXISTING BUILDING WOOD FRAMING FLOORS AT LOCATIONS DEPICTED ON THE PLANS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO BIDDING AND COMMENCING ANY WORK.
- INVESTIGATION AREAS REQUIRE THE CONTRACTOR TO REMOVE PORTIONS OF EXISTING FINISHES, PLASTER, AND FRAMING AS NEEDED IN ORDER FOR THE ENGINEER TO ASSESS THE CONDITION OF THE UNDERLYING STRUCTURAL ELEMENTS AT LOCATIONS INDICATED ON THE PLANS.
- THE CONTRACTOR SHALL PROVIDE BIDS FOR REPAIRS DETAILED ON THE PLANS INDICATED AS "DISCRETIONARY REPAIRS". THE CONTRACTOR SHALL RECOGNIZE THAT THE CITY WILL HAVE THE OPTION TO ADD THESE REPAIRS DEPENDING ON BUDGET. THERE IS NO GUARANTEE THAT THESE DISCRETIONARY REPAIRS WILL BE ADDED NOR HOW MANY LOCATIONS WILL BE ADDED.

- NOTES:
- BLOCKING REPAIR DETAIL IS ILLUSTRATIVE AND MAY NOT NECESSARILY DEPICT THE EXACT CONDITIONS, SHAPE OR SIZE OF THE FRAMING MEMBERS. NOTCH BLOCKING UP TO 2"x2"x2" FOR UTILITY LINES AS NEEDED.
 - EXISTING UTILITIES NOT SHOWN FOR CLARITY



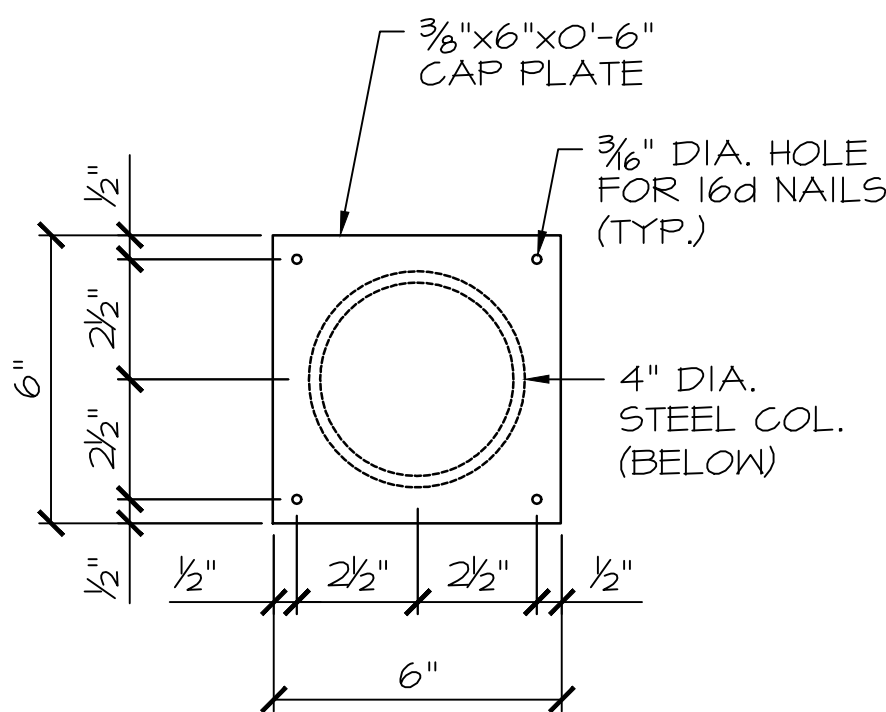
BLOCKING REPAIR DETAIL
NOT TO SCALE
REPAIR LOCATIONS 1 & 2



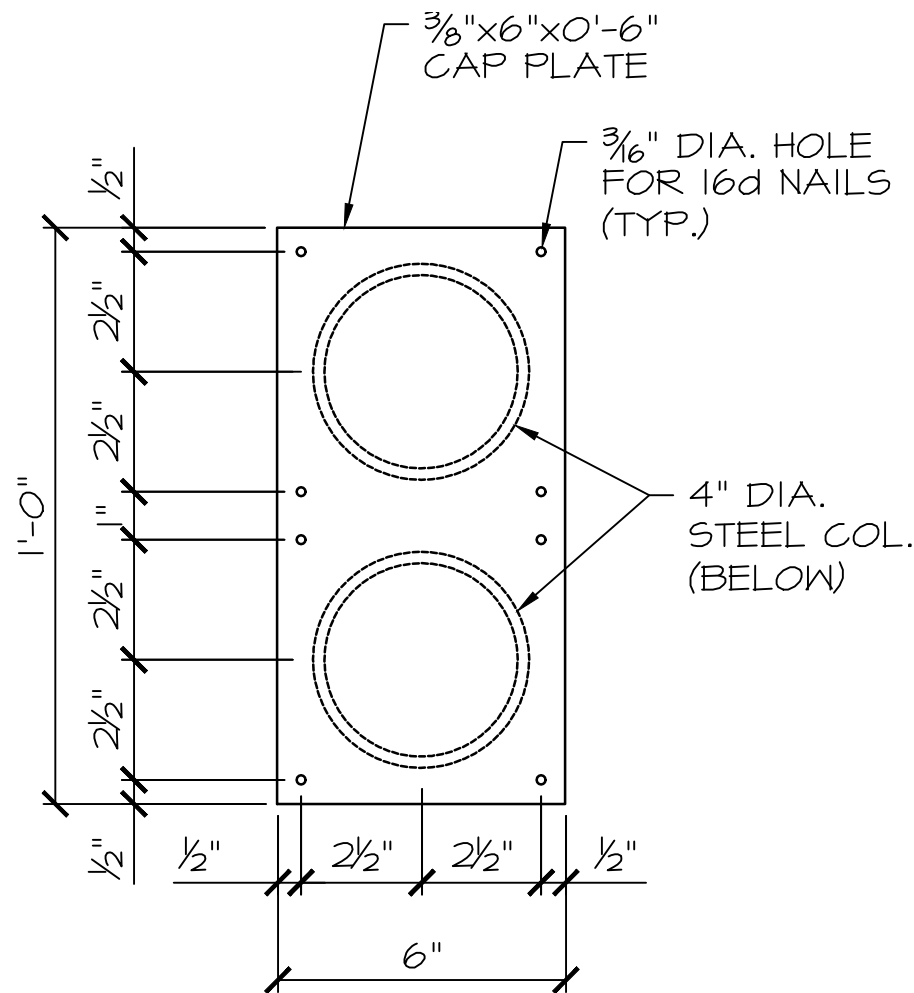
FOOTING TABLE	
LOCATION 3	2'-0"x2'-0"
LOCATION 4	2'-0"x2'-0"
LOCATION 5	3'-0"x2'-0"

- NOTES:
- NAIL WOOD BLOCKING TO EXISTING BEAM WITH (4)-16d NAILS
 - FASTEN CAP PLATE TO WOOD BLOCKING WITH (4) 16d NAILS.

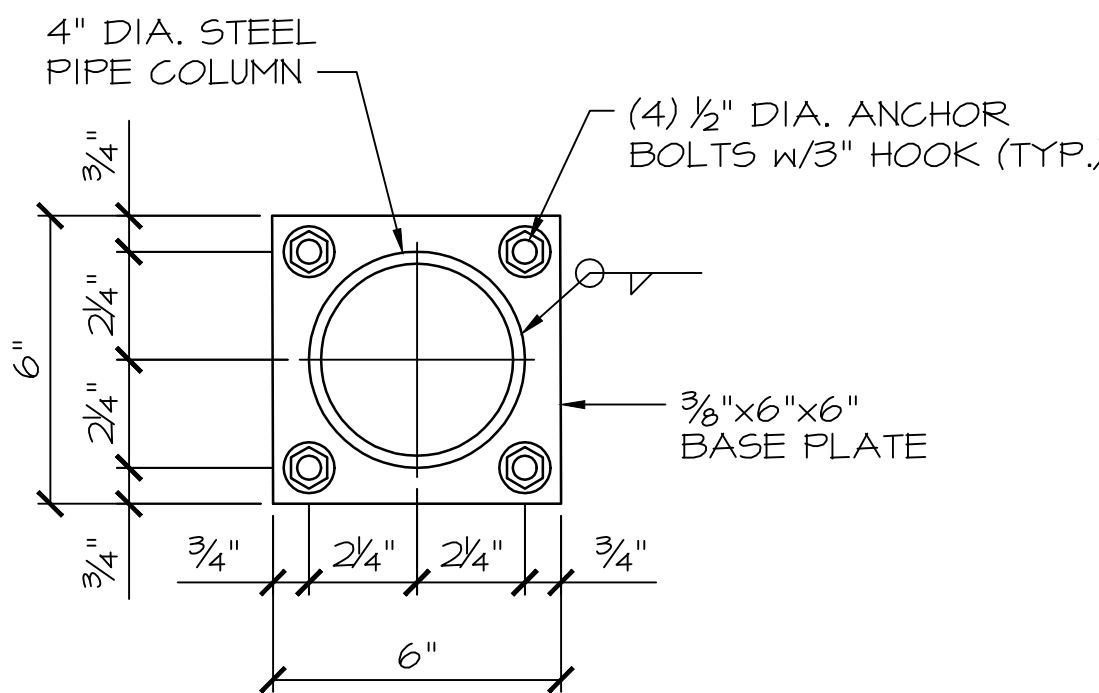
COLUMN DETAIL
SCALE: 3/4"=1'-0"



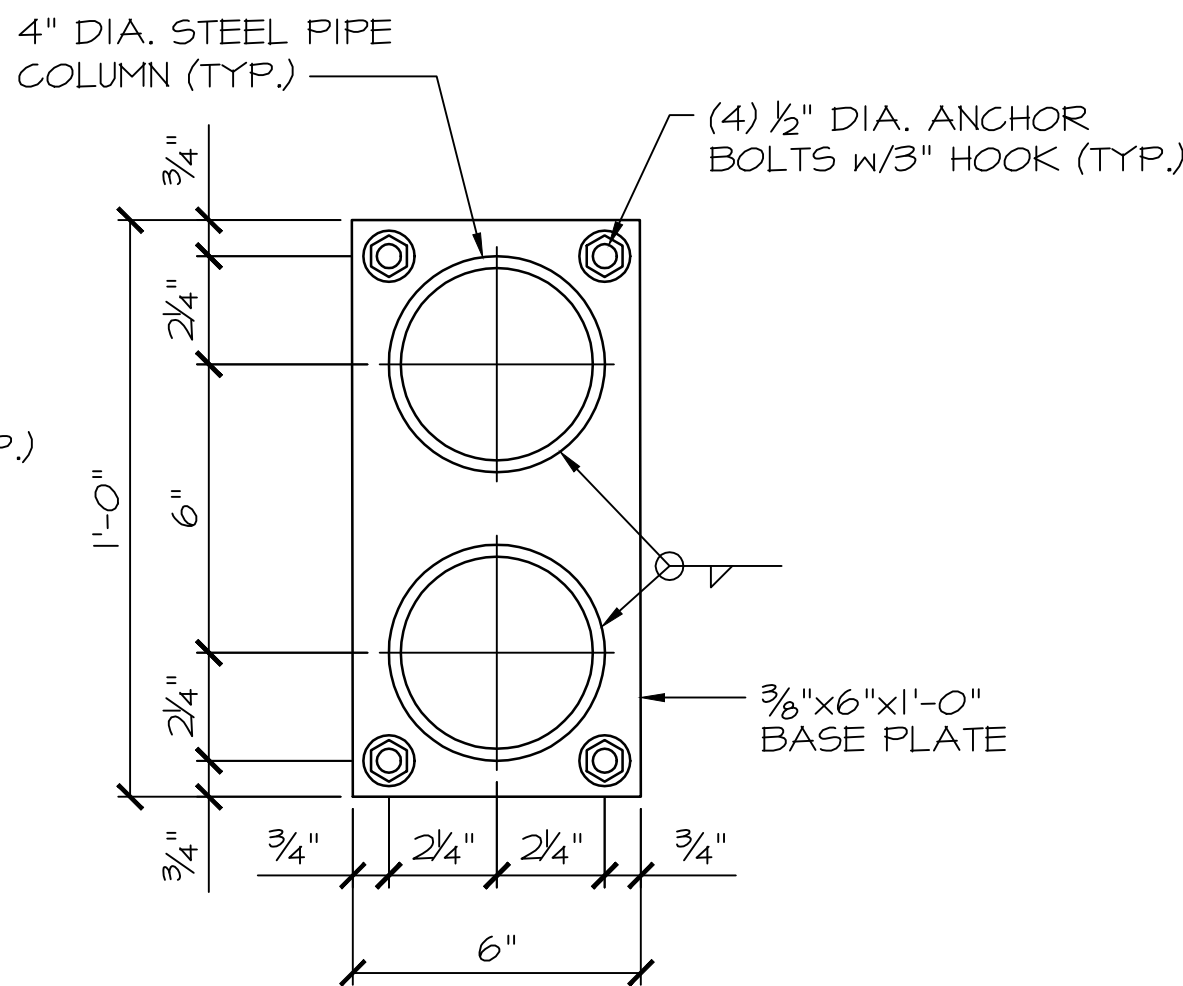
LOCATION 5
CAP PLATE DETAIL
SCALE: 3"=1'-0"



LOCATION 4 & 5
CAP PLATE DETAIL
SCALE: 3"=1'-0"



LOCATION 3 & 5
BASE PLATE DETAIL
SCALE: 3"=1'-0"



LOCATION 4 & 5
BASE PLATE DETAIL
SCALE: 3"=1'-0"

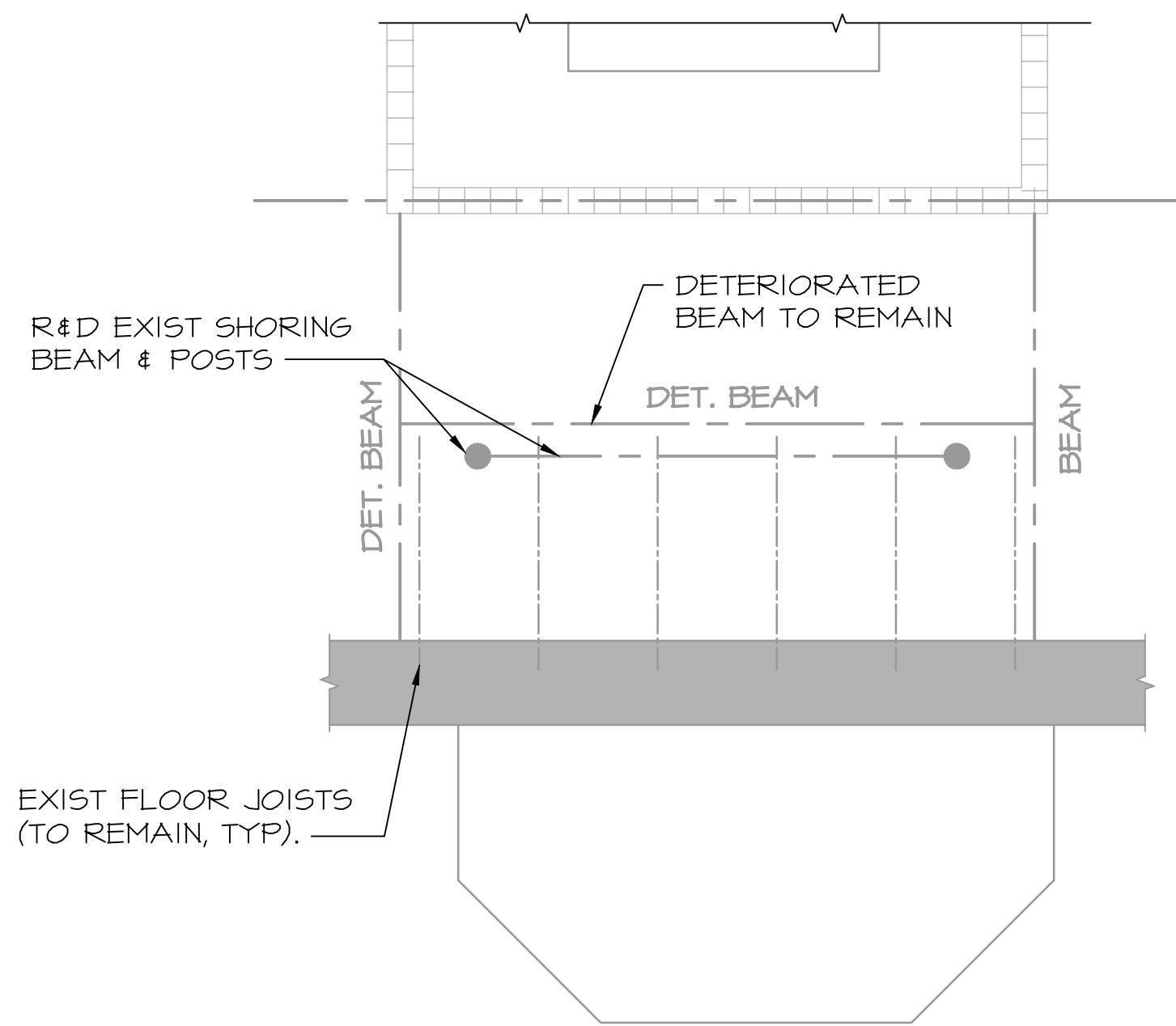
REPAIR LOCATIONS 3, 4, & 5



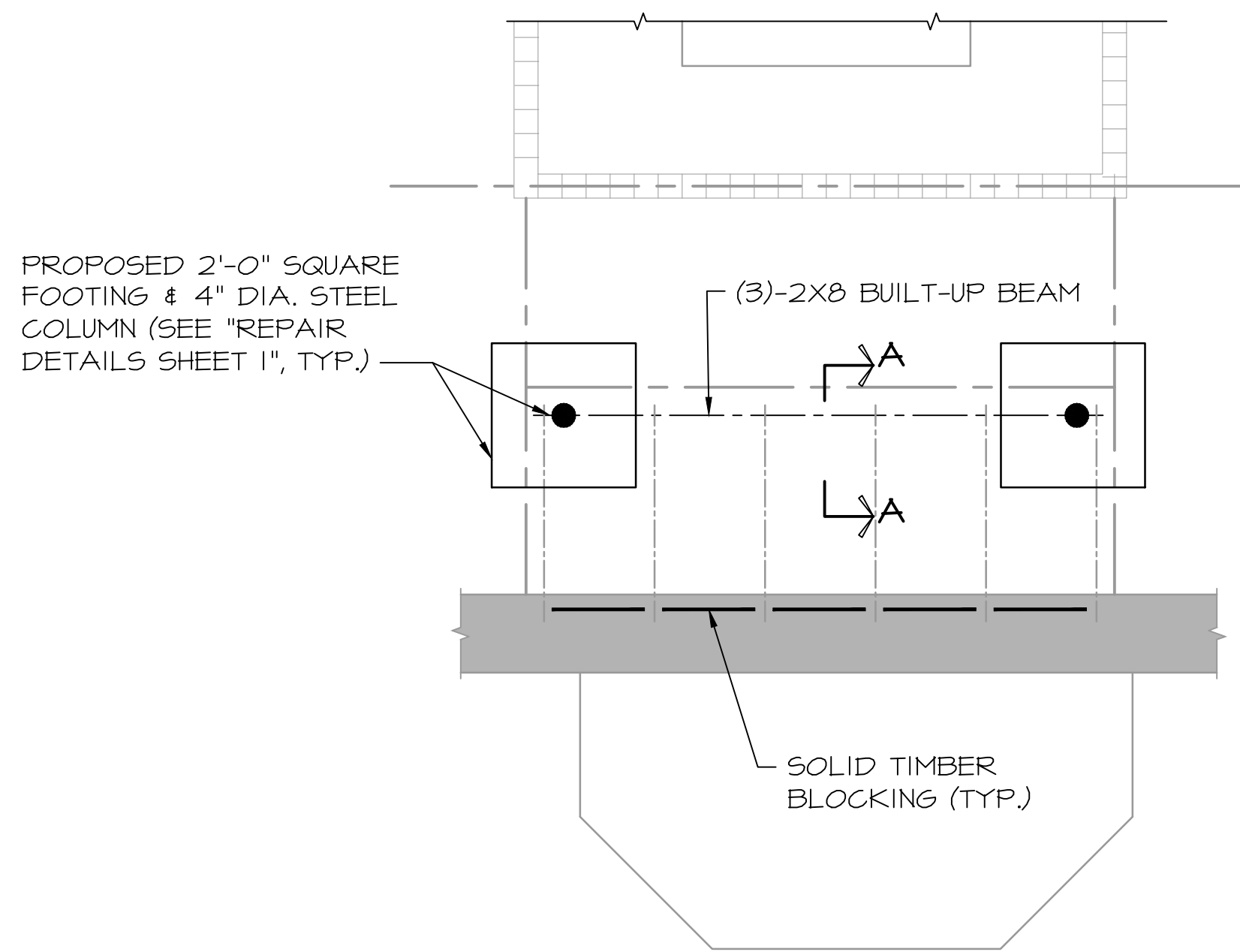
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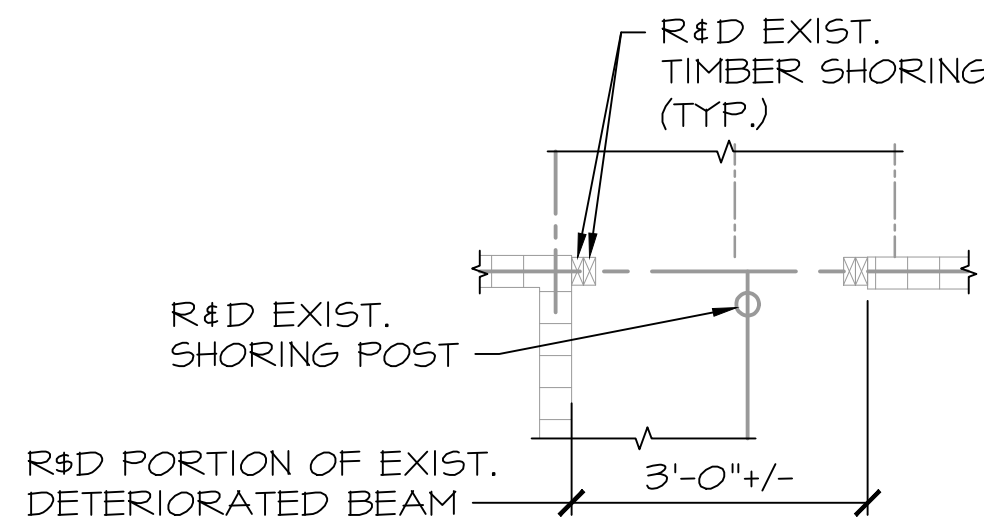
**REPAIR LOCATION 3
EXISTING FRAMING PLAN**
SCALE: 1/2"=1'-0"



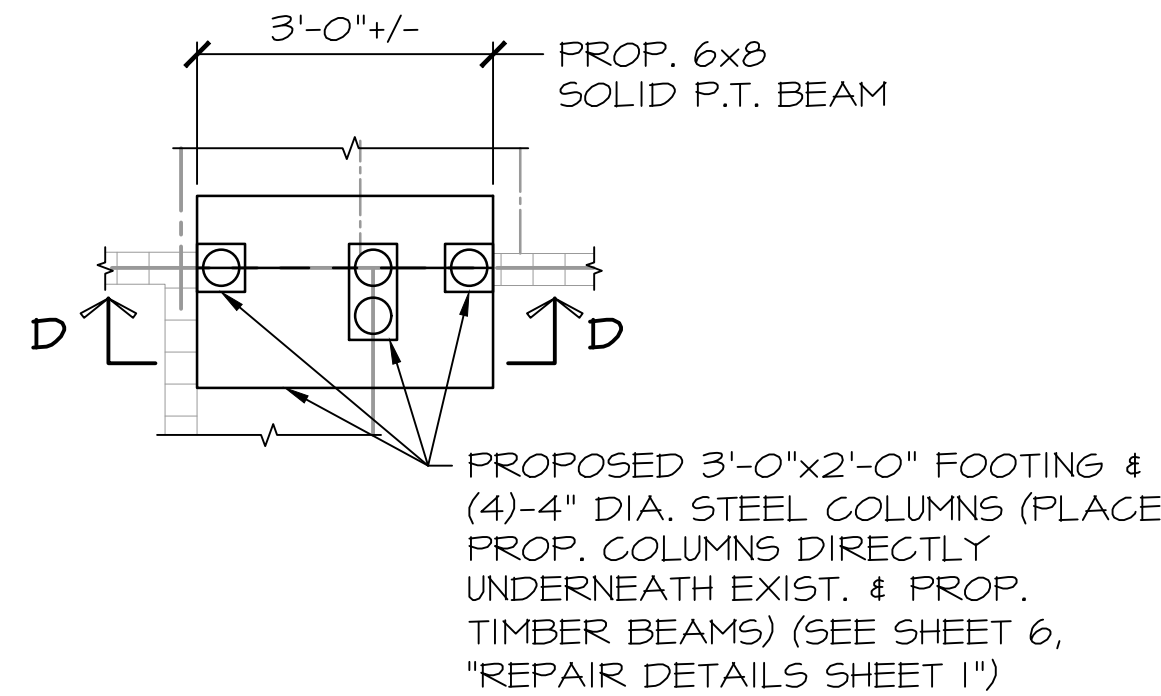
**REPAIR LOCATION 3
PROPOSED FRAMING PLAN**
SCALE: 1/2"=1'-0"

**LOCATION 3
REPAIR NOTES**

1. PROVIDE TEMP SHORING OF STAIRWAY FRAMING ABOVE AND EXISTING FLOOR JOISTS
2. R&D EXISTING SHORING AND POSTS.
3. TEMPORARILY RELOCATE EXISTING UTILITIES (NOT SHOWN FOR CLARITY)
4. INSTALL NEW STEEL COLUMNS AND CONCRETE FOOTINGS.
5. INSTALL NEW (3)-2x8 BUILT-UP BEAM.
6. FASTEN EXISTING FLOOR JOISTS TO NEW BUILT-UP BEAM WITH (2) TEK-LOK LAGS PER JOIST.



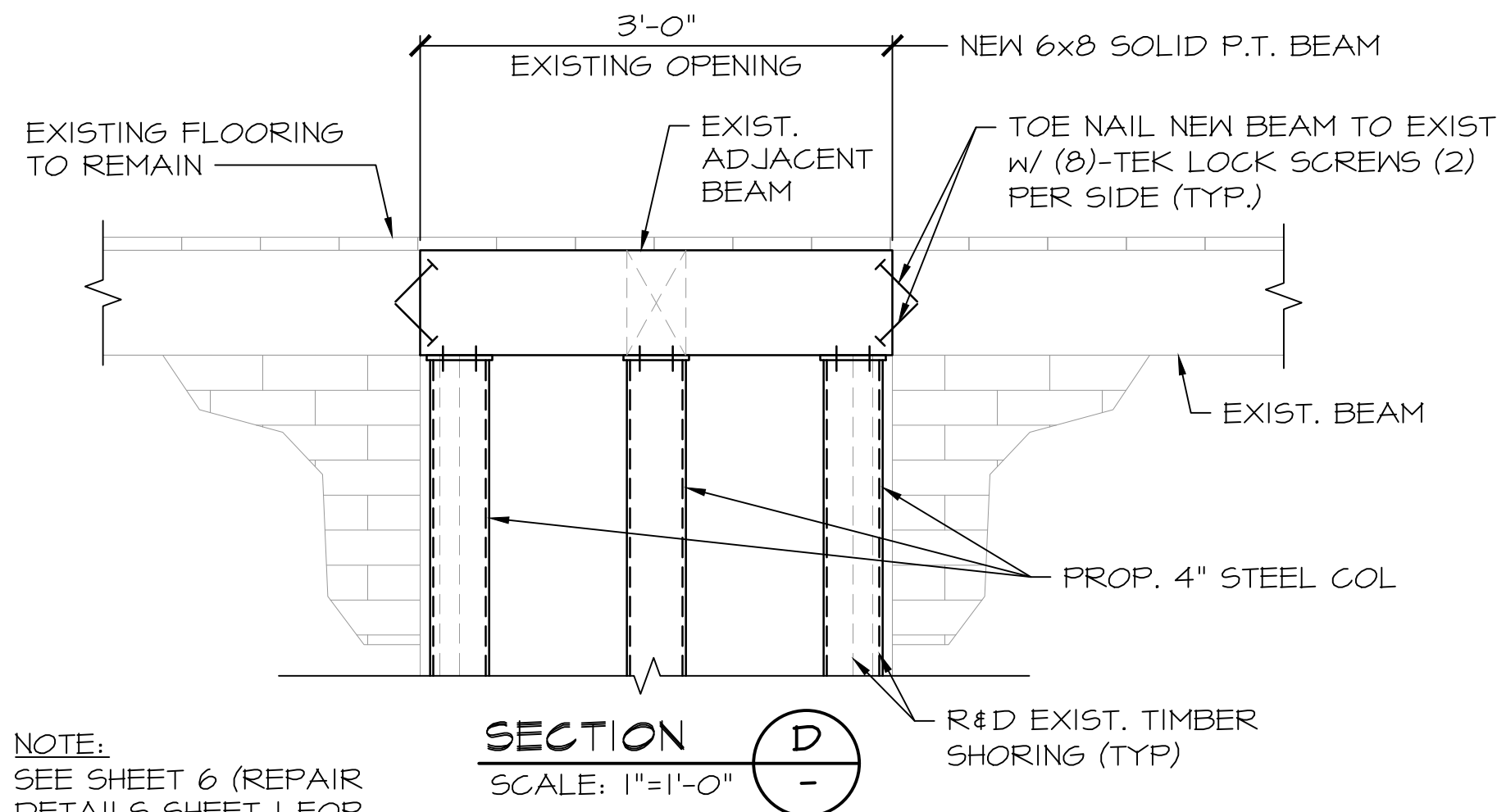
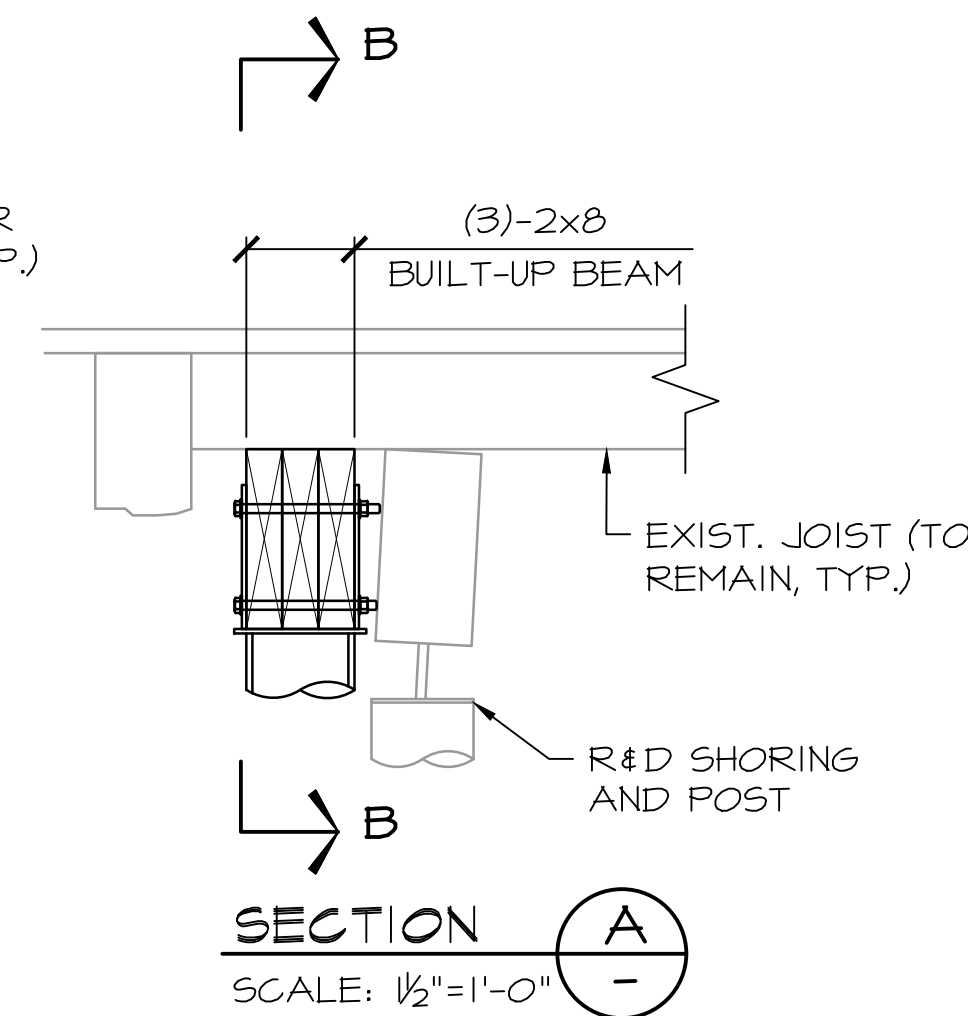
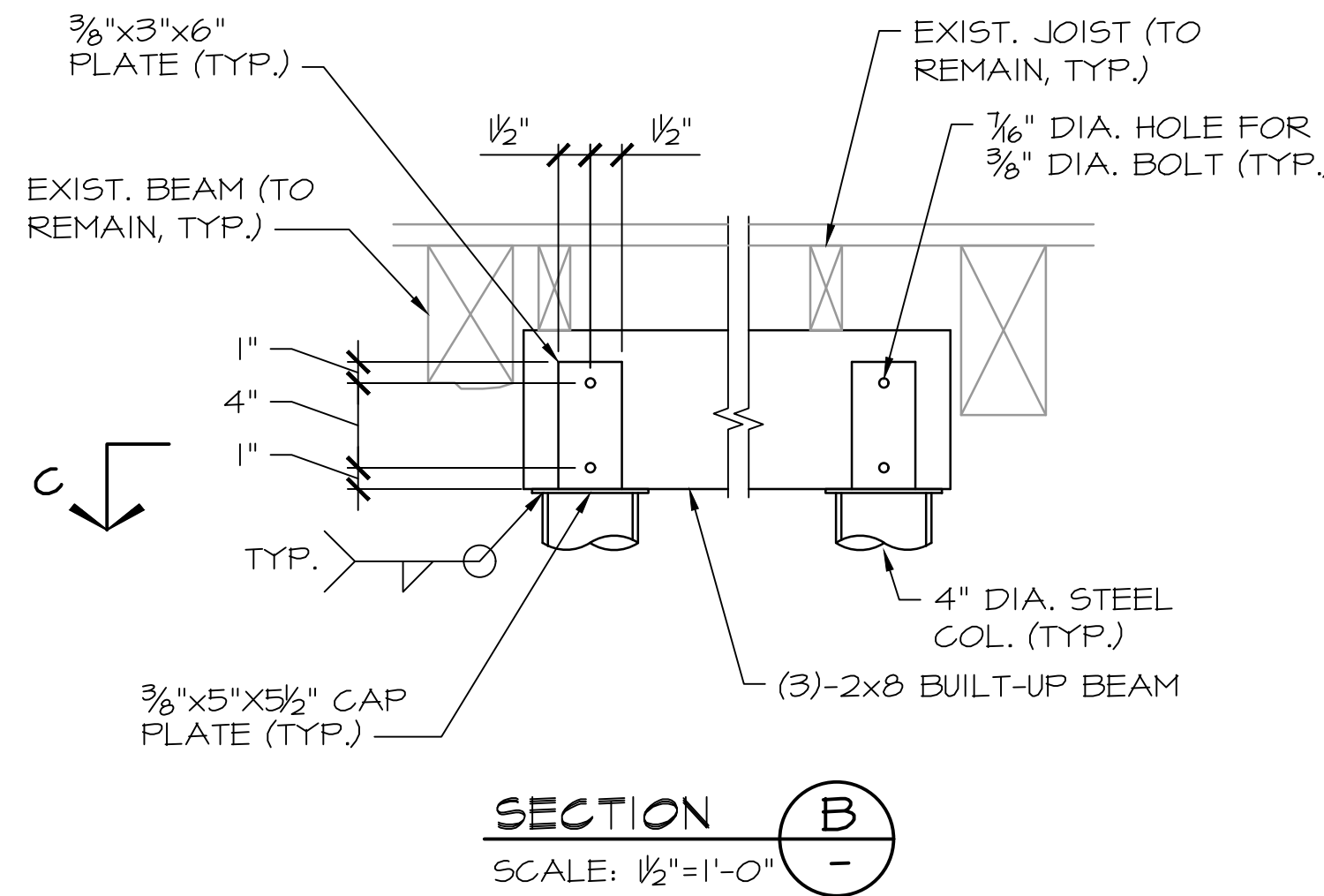
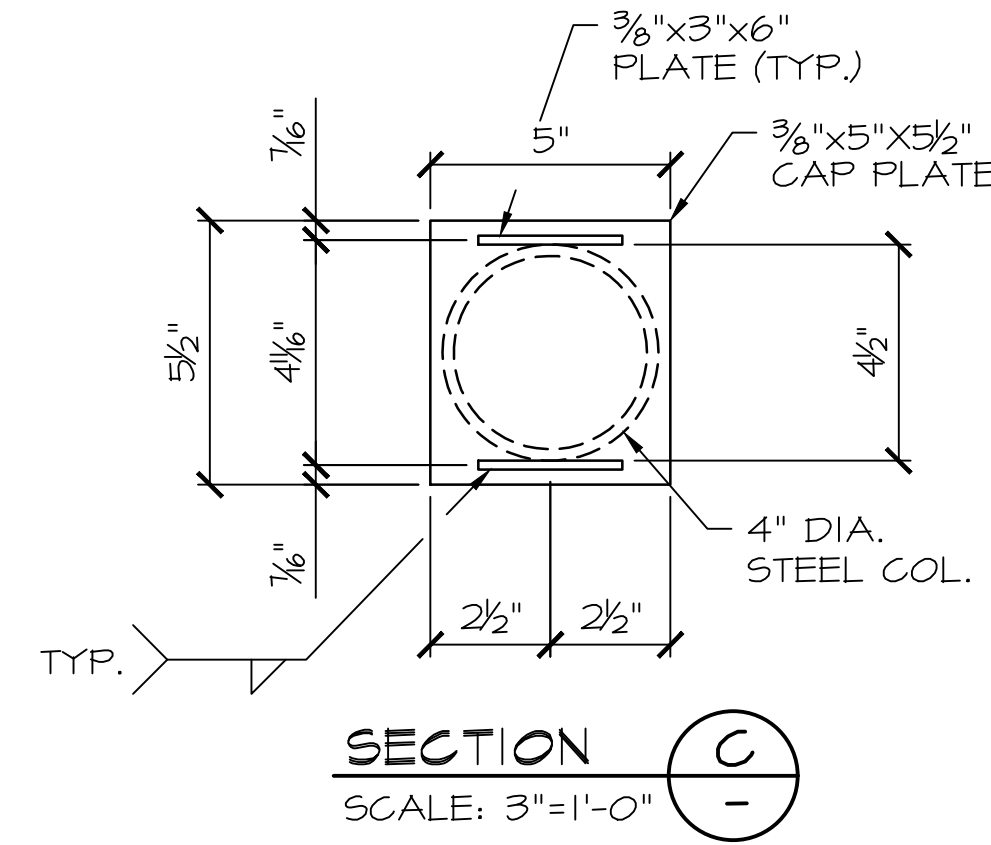
**REPAIR LOCATION 5
EXISTING FRAMING PLAN**
SCALE: 1/2"=1'-0"



**REPAIR LOCATION 5
PROPOSED FRAMING PLAN**
SCALE: 1/2"=1'-0"

**LOCATION 5
REPAIR NOTES**

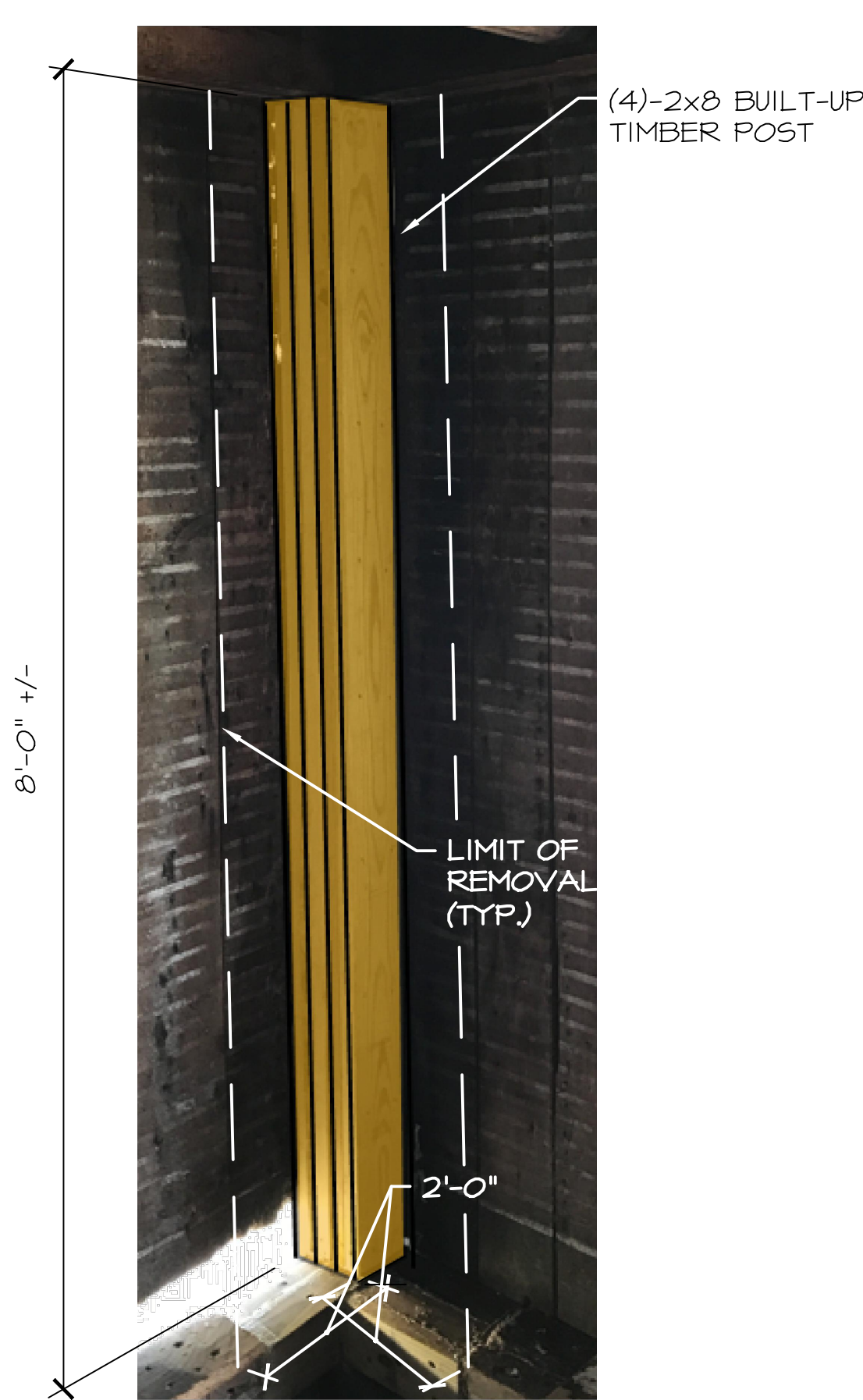
1. PROVIDE TEMP SHORING OF FRAMING ABOVE AND EXISTING FLOOR JOISTS
2. R&D EXISTING SHORING AND PORTION OF TIMBER BEAM.
3. TEMPORARILY RELOCATE EXISTING UTILITIES (NOT SHOWN FOR CLARITY)
4. INSTALL NEW STEEL COLUMNS AND CONCRETE FOOTINGS.
5. INSTALL NEW 6x8 P.T. SOLID BEAM.



NOTE:
SEE SHEET 6 (REPAIR
DETAILS SHEET 1 FOR
COLUMN AND FOOTING
DETAILS)



EXISTING ELEVATION VIEW



NOTE:
CONTRACTOR SHALL PROVIDE TEMPORARY
SUPPORT OF ADJACENT FRAMING MEMBER AS
NEEDED

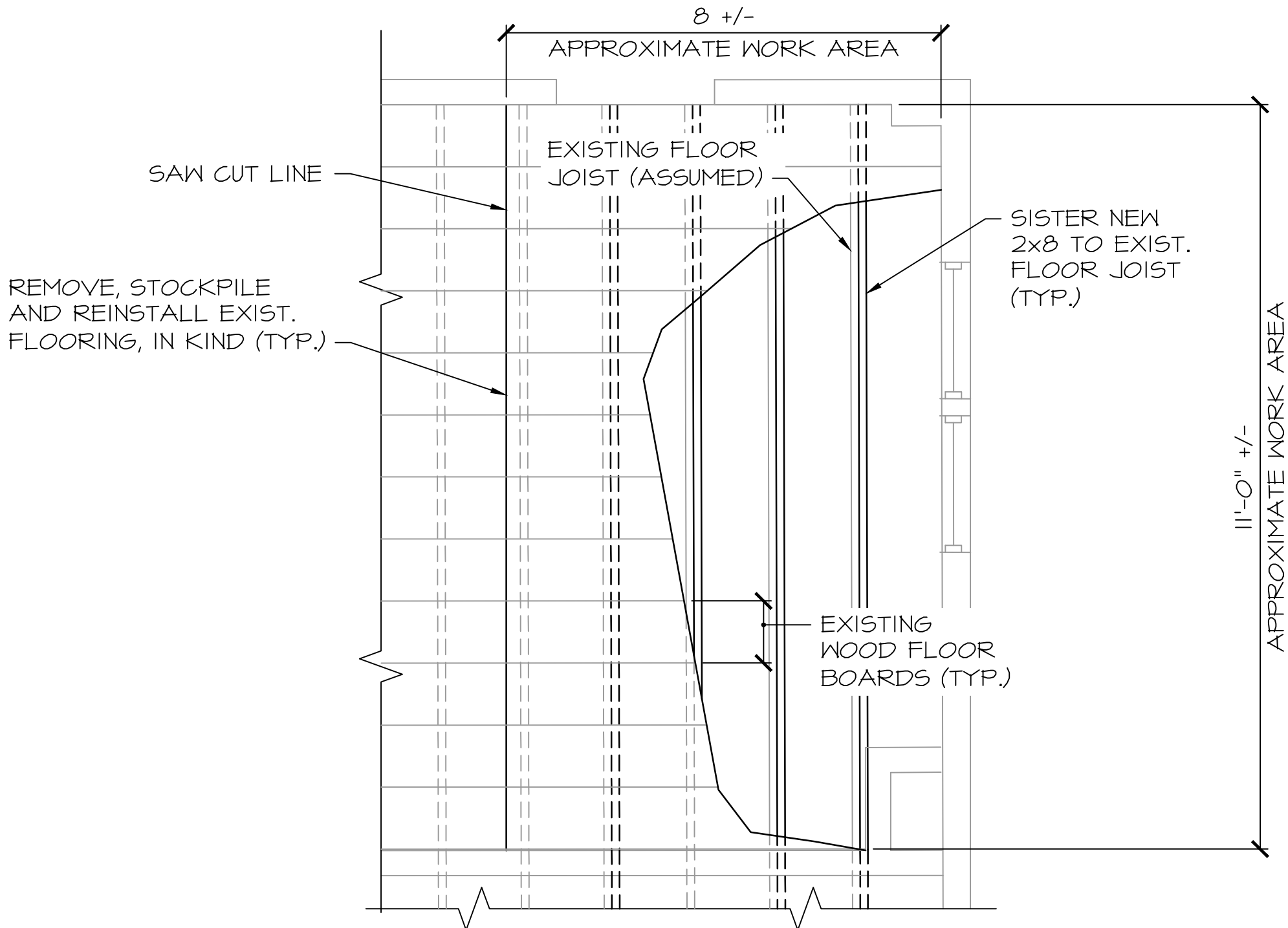
PROPOSED REPAIR

NOTES DISCRETIONARY REPAIR AREA (A):

1. WORK IN THIS AREA SHALL CONSIST OF INVESTIGATING THE EXISTING STRUCTURAL POST, FLOOR AND SILL WHICH EXHIBIT SETTLEMENT
2. THE CONTRACTOR SHALL REMOVE THE WOOD TRIM, FINISH FLOORING AND FLOOR BOARDS AND OR ADJACENT DOORS TO EXPOSE THE EXISTING UNDERLYING STRUCTURAL MEMBERS FOR ASSESSMENT BY THE ENGINEER.
3. EXISTING FINISH MATERIALS SHALL BE CAREFULLY REMOVED AND STOCKPILED FOR RE-USE. FINISH MATERIALS IN GOOD CONDITION DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN-KIND AT NO ADDITIONAL EXPENSE TO THE CITY/OWNER.
4. DETERIORATED FRAMING MEMBERS, POSTS, SILLS, WALL STUDS ETC. SHALL BE REMOVED AND DISPOSED.
5. DESIGNATED AREA IS APPROXIMATE.
6. ASSUMED REPAIR WILL BE DETERMINED BY THE ENGINEER AND MAY CONSIST OF REPLACING EXISTING POST WITH PRESSURE TREATED (4) 2x8 BUILT-UP POST, SILL AND OR WALL STUDS OR AS DIRECTED BY THE ENGINEER.
7. INVESTIGATION AREAS SHALL BE RESTORED TO THE ORIGINAL CONDITION.

INVESTIGATION AREA (A)
NOT TO SCALE

DISCRETIONARY REPAIR



PARTIAL EXISTING SECOND
FLOOR PLAN
SCALE: 1/2"=1'-0"

NOTES DISCRETIONARY REPAIR AREA (B):

1. THE WORK SHALL CONSIST OF STRUCTURAL REPAIRS TO PORTIONS OF THE EXISTING BUILDINGS WOOD FRAMING FLOORS AT LOCATIONS DEPICTED ON THE PLANS.
2. EXPLORATORY INVESTIGATIONS REQUIRE THE CONTRACTOR TO REMOVE PORTIONS OF EXISTING FLOORING AS NEEDED IN ORDER TO ASSESS THE CONDITION OF THE FLOOR FRAMING.
3. ASSUMED REPAIR WILL BE DETERMINED BY THE ENGINEER AND MAY CONSIST OF SISTERING NEW 2x8 TO THE EXISTING FLOOR JOISTS.
4. INVESTIGATION AREA SHALL BE RESTORED TO THE ORIGINAL CONDITION.

INVESTIGATION AREA (B)
SCALE: 1/2"=1'-0"

DISCRETIONARY REPAIR



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