

East Providence Zoning Board of Review

Use Variance Form (Ref. 19-47)

This form must be completed in full prior to
being considered by the Zoning Board of Review.

File #	
Date of Filing	
Received By	
Date of Hearing	
Action	
Recorded	Bk Pg

1. LOCATION OF PROPERTY 41-43 Oakley Avenue AVENUE/STREET
MAP 206 BLOCK 25 PARCEL 4 ZONING DISTRICT C-3

2. OWNER Albertino and Zita Milho
ADDRESS 3 Kettle Point Avenue, East Providence, RI 02914
DATE OF PURCHASE
PROPOSED LESSEE/PURCHASER
ADDRESS
ATTORNEY Timothy J. Chapman, Esquire
ADDRESS 349 Warren Avenue, East Providence, RI 02914
REPRESENTING Owner

3. DIMENSIONS OF SITE 50 113 5,650 sq. ft.
Width Depth Area (Sq. Ft.)

LIST OF ALL EXISTING BUILDINGS AND USES:

	Use	Building Height	Area (Sq. Ft.) (Building Footprint)	Type of Construction
(1)	Residential 2 stories		1,397 sq. ft.	renovations
(2)				
(3)				

4. LIST OF PROPOSED CONSTRUCTION AND USES:

	Use	No. of Stories	Basement Yes/No	Area (Sq. Ft.) (Bldg Footprint)	Multi-Family No. of Bedrooms/Unit	Type of Construction
(1)	Residential 2 stories			1,397 sq. ft.	4 units	renovations
(2)						
(3)						

(Over)

50% preconsumer content



10% postconsumer content

PRINTED ON RECYCLED PAPER

5. THIS VARIANCE APPLICATION RELATES TO:

☒ Principal Building (s) ☐ Accessory Building ☐ Land

CHECK ONE OR MORE:

☒ Use ☐ Extension of Nonconforming Use
☐ Change Nonconforming Use ☐ Other-Please Specify _____

6. IF CHANGE OF NONCONFORMING USE, WHAT IS EXISTING USE?

7. LIST EACH APPLICABLE SECTION OF THE ZONING ORDINANCE FOR WHICH VARIANCE IS SOUGHT PLUS A BRIEF DESCRIPTION OF THE NATURE OF THE VARIANCES:

SECTION NUMBER	DESCRIPTION VARIANCE
19-98	Two family dwelling, requesting an additional two units.

8. DESCRIBE THE UNIQUE CHARACTERISTICS OR OTHER PECULIARITIES OF THE PROPERTY WHICH CREATE HARDSHIP.

The existing dwelling is configured for residential use. The unique shape and configuration of this property lends itself to being a four unit property. The surrounding uses include a majority of residential lots, including multi-units. The requested use will not impair the intent of the zoning ordinance. The requested use provides for orderly growth and development, with existing dwellings already permitted. The highlight of the city's comprehensive plan regarding the housing element is to "maintain densities in existing neighborhoods".

NOTE: PLANS ACTED UPON BY THE BOARD BECOME INCORPORATED AS PART OF THE DECISION AND ARE FINAL.

I, the undersigned, swear that all information given above to the best of my knowledge is complete and correct.

OWNER(S) SIGNATURE: _____

DATE

DATE

Agent/Attorney _____

Address

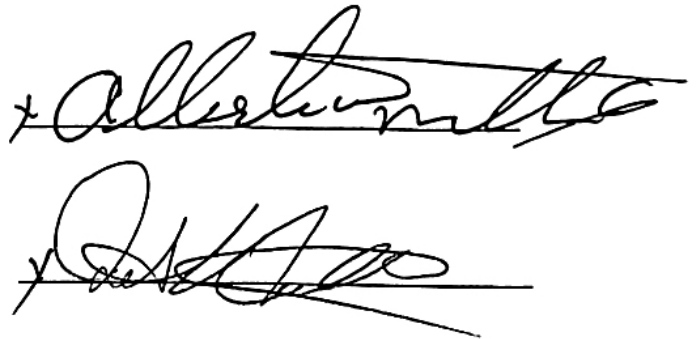
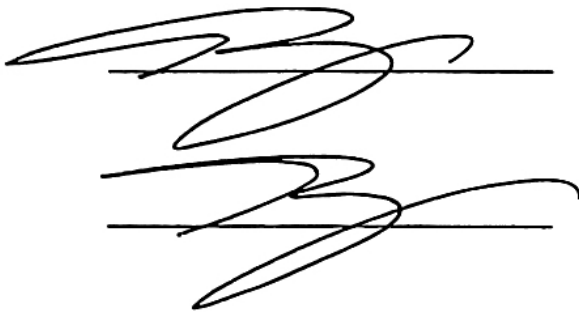
349 Warren Avenue, East Providence, RI 02914

Affidavit

We, Albetino Milho and Zita Milho do hereby state that we are the owners of the property located at 41-43 Oakley Avenue, East Providence, RI. We hereby authorize Timothy J. Chapman, Esq. to act on our behalf as it relates to our Zoning matter with the City of East Providence, RI.

Signed under oath this 11th day June, 2025.

WITNESS:



STATE OF RHODE ISLAND
COUNTY OF PROVIDENCE

On this 11th day of JUNE, 2025, before me, the undersigned notary public, personally appeared Albertino Milho and Zita Milho, proved to me to be the persons who signed the preceding document in my presence by their **Drivers' License**

7304796 (AM) + 7503564 (ZM) and they acknowledges said instrument and the execution thereof to be their free act and deed.

Notary Public
My Commission Exp:





NOTES:
1. ALL EXISTING CONDITIONS ARE SHOWN.
2. ALL NEW CONSTRUCTION IS SHOWN IN DASHES.
3. ALL DIMENSIONS ARE IN FEET AND INCHES.
4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
6. ALL DIMENSIONS ARE TO EXTERIOR FACE UNLESS NOTED OTHERWISE.
7. ALL DIMENSIONS ARE TO INTERIOR FACE UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS ARE TO CENTERLINE OF ROAD UNLESS NOTED OTHERWISE.
9. ALL DIMENSIONS ARE TO EXTERIOR FACE OF CURB UNLESS NOTED OTHERWISE.
10. ALL DIMENSIONS ARE TO INTERIOR FACE OF CURB UNLESS NOTED OTHERWISE.
11. ALL DIMENSIONS ARE TO CENTERLINE OF BUILDING UNLESS NOTED OTHERWISE.
12. ALL DIMENSIONS ARE TO EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
13. ALL DIMENSIONS ARE TO INTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
14. ALL DIMENSIONS ARE TO CENTERLINE OF LOT UNLESS NOTED OTHERWISE.
15. ALL DIMENSIONS ARE TO EXTERIOR FACE OF LOT UNLESS NOTED OTHERWISE.
16. ALL DIMENSIONS ARE TO INTERIOR FACE OF LOT UNLESS NOTED OTHERWISE.
17. ALL DIMENSIONS ARE TO CENTERLINE OF STREET UNLESS NOTED OTHERWISE.
18. ALL DIMENSIONS ARE TO EXTERIOR FACE OF STREET UNLESS NOTED OTHERWISE.
19. ALL DIMENSIONS ARE TO INTERIOR FACE OF STREET UNLESS NOTED OTHERWISE.
20. ALL DIMENSIONS ARE TO CENTERLINE OF ALLEY UNLESS NOTED OTHERWISE.
21. ALL DIMENSIONS ARE TO EXTERIOR FACE OF ALLEY UNLESS NOTED OTHERWISE.
22. ALL DIMENSIONS ARE TO INTERIOR FACE OF ALLEY UNLESS NOTED OTHERWISE.
23. ALL DIMENSIONS ARE TO CENTERLINE OF DRIVEWAY UNLESS NOTED OTHERWISE.
24. ALL DIMENSIONS ARE TO EXTERIOR FACE OF DRIVEWAY UNLESS NOTED OTHERWISE.
25. ALL DIMENSIONS ARE TO INTERIOR FACE OF DRIVEWAY UNLESS NOTED OTHERWISE.
26. ALL DIMENSIONS ARE TO CENTERLINE OF PORCH UNLESS NOTED OTHERWISE.
27. ALL DIMENSIONS ARE TO EXTERIOR FACE OF PORCH UNLESS NOTED OTHERWISE.
28. ALL DIMENSIONS ARE TO INTERIOR FACE OF PORCH UNLESS NOTED OTHERWISE.
29. ALL DIMENSIONS ARE TO CENTERLINE OF TERRACE UNLESS NOTED OTHERWISE.
30. ALL DIMENSIONS ARE TO EXTERIOR FACE OF TERRACE UNLESS NOTED OTHERWISE.
31. ALL DIMENSIONS ARE TO INTERIOR FACE OF TERRACE UNLESS NOTED OTHERWISE.
32. ALL DIMENSIONS ARE TO CENTERLINE OF BALCONY UNLESS NOTED OTHERWISE.
33. ALL DIMENSIONS ARE TO EXTERIOR FACE OF BALCONY UNLESS NOTED OTHERWISE.
34. ALL DIMENSIONS ARE TO INTERIOR FACE OF BALCONY UNLESS NOTED OTHERWISE.
35. ALL DIMENSIONS ARE TO CENTERLINE OF STAIR UNLESS NOTED OTHERWISE.
36. ALL DIMENSIONS ARE TO EXTERIOR FACE OF STAIR UNLESS NOTED OTHERWISE.
37. ALL DIMENSIONS ARE TO INTERIOR FACE OF STAIR UNLESS NOTED OTHERWISE.
38. ALL DIMENSIONS ARE TO CENTERLINE OF ELEVATOR UNLESS NOTED OTHERWISE.
39. ALL DIMENSIONS ARE TO EXTERIOR FACE OF ELEVATOR UNLESS NOTED OTHERWISE.
40. ALL DIMENSIONS ARE TO INTERIOR FACE OF ELEVATOR UNLESS NOTED OTHERWISE.
41. ALL DIMENSIONS ARE TO CENTERLINE OF LIFT UNLESS NOTED OTHERWISE.
42. ALL DIMENSIONS ARE TO EXTERIOR FACE OF LIFT UNLESS NOTED OTHERWISE.
43. ALL DIMENSIONS ARE TO INTERIOR FACE OF LIFT UNLESS NOTED OTHERWISE.
44. ALL DIMENSIONS ARE TO CENTERLINE OF RAMP UNLESS NOTED OTHERWISE.
45. ALL DIMENSIONS ARE TO EXTERIOR FACE OF RAMP UNLESS NOTED OTHERWISE.
46. ALL DIMENSIONS ARE TO INTERIOR FACE OF RAMP UNLESS NOTED OTHERWISE.
47. ALL DIMENSIONS ARE TO CENTERLINE OF WALKWAY UNLESS NOTED OTHERWISE.
48. ALL DIMENSIONS ARE TO EXTERIOR FACE OF WALKWAY UNLESS NOTED OTHERWISE.
49. ALL DIMENSIONS ARE TO INTERIOR FACE OF WALKWAY UNLESS NOTED OTHERWISE.
50. ALL DIMENSIONS ARE TO CENTERLINE OF DRIVE UNLESS NOTED OTHERWISE.
51. ALL DIMENSIONS ARE TO EXTERIOR FACE OF DRIVE UNLESS NOTED OTHERWISE.
52. ALL DIMENSIONS ARE TO INTERIOR FACE OF DRIVE UNLESS NOTED OTHERWISE.
53. ALL DIMENSIONS ARE TO CENTERLINE OF PARKING LOT UNLESS NOTED OTHERWISE.
54. ALL DIMENSIONS ARE TO EXTERIOR FACE OF PARKING LOT UNLESS NOTED OTHERWISE.
55. ALL DIMENSIONS ARE TO INTERIOR FACE OF PARKING LOT UNLESS NOTED OTHERWISE.
56. ALL DIMENSIONS ARE TO CENTERLINE OF LOT UNLESS NOTED OTHERWISE.
57. ALL DIMENSIONS ARE TO EXTERIOR FACE OF LOT UNLESS NOTED OTHERWISE.
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59. ALL DIMENSIONS ARE TO CENTERLINE OF STREET UNLESS NOTED OTHERWISE.
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62. ALL DIMENSIONS ARE TO CENTERLINE OF ALLEY UNLESS NOTED OTHERWISE.
63. ALL DIMENSIONS ARE TO EXTERIOR FACE OF ALLEY UNLESS NOTED OTHERWISE.
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68. ALL DIMENSIONS ARE TO CENTERLINE OF PORCH UNLESS NOTED OTHERWISE.
69. ALL DIMENSIONS ARE TO EXTERIOR FACE OF PORCH UNLESS NOTED OTHERWISE.
70. ALL DIMENSIONS ARE TO INTERIOR FACE OF PORCH UNLESS NOTED OTHERWISE.
71. ALL DIMENSIONS ARE TO CENTERLINE OF TERRACE UNLESS NOTED OTHERWISE.
72. ALL DIMENSIONS ARE TO EXTERIOR FACE OF TERRACE UNLESS NOTED OTHERWISE.
73. ALL DIMENSIONS ARE TO INTERIOR FACE OF TERRACE UNLESS NOTED OTHERWISE.
74. ALL DIMENSIONS ARE TO CENTERLINE OF BALCONY UNLESS NOTED OTHERWISE.
75. ALL DIMENSIONS ARE TO EXTERIOR FACE OF BALCONY UNLESS NOTED OTHERWISE.
76. ALL DIMENSIONS ARE TO INTERIOR FACE OF BALCONY UNLESS NOTED OTHERWISE.
77. ALL DIMENSIONS ARE TO CENTERLINE OF STAIR UNLESS NOTED OTHERWISE.
78. ALL DIMENSIONS ARE TO EXTERIOR FACE OF STAIR UNLESS NOTED OTHERWISE.
79. ALL DIMENSIONS ARE TO INTERIOR FACE OF STAIR UNLESS NOTED OTHERWISE.
80. ALL DIMENSIONS ARE TO CENTERLINE OF ELEVATOR UNLESS NOTED OTHERWISE.
81. ALL DIMENSIONS ARE TO EXTERIOR FACE OF ELEVATOR UNLESS NOTED OTHERWISE.
82. ALL DIMENSIONS ARE TO INTERIOR FACE OF ELEVATOR UNLESS NOTED OTHERWISE.
83. ALL DIMENSIONS ARE TO CENTERLINE OF LIFT UNLESS NOTED OTHERWISE.
84. ALL DIMENSIONS ARE TO EXTERIOR FACE OF LIFT UNLESS NOTED OTHERWISE.
85. ALL DIMENSIONS ARE TO INTERIOR FACE OF LIFT UNLESS NOTED OTHERWISE.
86. ALL DIMENSIONS ARE TO CENTERLINE OF RAMP UNLESS NOTED OTHERWISE.
87. ALL DIMENSIONS ARE TO EXTERIOR FACE OF RAMP UNLESS NOTED OTHERWISE.
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89. ALL DIMENSIONS ARE TO CENTERLINE OF WALKWAY UNLESS NOTED OTHERWISE.
90. ALL DIMENSIONS ARE TO EXTERIOR FACE OF WALKWAY UNLESS NOTED OTHERWISE.
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92. ALL DIMENSIONS ARE TO CENTERLINE OF DRIVE UNLESS NOTED OTHERWISE.
93. ALL DIMENSIONS ARE TO EXTERIOR FACE OF DRIVE UNLESS NOTED OTHERWISE.
94. ALL DIMENSIONS ARE TO INTERIOR FACE OF DRIVE UNLESS NOTED OTHERWISE.
95. ALL DIMENSIONS ARE TO CENTERLINE OF PARKING LOT UNLESS NOTED OTHERWISE.
96. ALL DIMENSIONS ARE TO EXTERIOR FACE OF PARKING LOT UNLESS NOTED OTHERWISE.
97. ALL DIMENSIONS ARE TO INTERIOR FACE OF PARKING LOT UNLESS NOTED OTHERWISE.
98. ALL DIMENSIONS ARE TO CENTERLINE OF LOT UNLESS NOTED OTHERWISE.
99. ALL DIMENSIONS ARE TO EXTERIOR FACE OF LOT UNLESS NOTED OTHERWISE.
100. ALL DIMENSIONS ARE TO INTERIOR FACE OF LOT UNLESS NOTED OTHERWISE.

NO.	DESCRIPTION	QTY	UNIT	AMOUNT	NO.	DESCRIPTION	QTY	UNIT	AMOUNT
1	CONCRETE	1	CU YD	1.00	11	PAVING	1	CU YD	1.00
2	CEMENT	1	CU YD	1.00	12	PAVING	1	CU YD	1.00
3	GRAVEL	1	CU YD	1.00	13	PAVING	1	CU YD	1.00
4	ASPHALT	1	CU YD	1.00	14	PAVING	1	CU YD	1.00
5	BRICK	1	CU YD	1.00	15	PAVING	1	CU YD	1.00
6	STONE	1	CU YD	1.00	16	PAVING	1	CU YD	1.00
7	SAND	1	CU YD	1.00	17	PAVING	1	CU YD	1.00
8	GRAVEL	1	CU YD	1.00	18	PAVING	1	CU YD	1.00
9	ASPHALT	1	CU YD	1.00	19	PAVING	1	CU YD	1.00
10	BRICK	1	CU YD	1.00	20	PAVING	1	CU YD	1.00
11	CEMENT	1	CU YD	1.00	21	PAVING	1	CU YD	1.00
12	GRAVEL	1	CU YD	1.00	22	PAVING	1	CU YD	1.00
13	ASPHALT	1	CU YD	1.00	23	PAVING	1	CU YD	1.00
14	BRICK	1	CU YD	1.00	24	PAVING	1	CU YD	1.00
15	STONE	1	CU YD	1.00	25	PAVING	1	CU YD	1.00
16	SAND	1	CU YD	1.00	26	PAVING	1	CU YD	1.00
17	GRAVEL	1	CU YD	1.00	27	PAVING	1	CU YD	1.00
18	ASPHALT	1	CU YD	1.00	28	PAVING	1	CU YD	1.00
19	BRICK	1	CU YD	1.00	29	PAVING	1	CU YD	1.00
20	CEMENT	1	CU YD	1.00	30	PAVING	1	CU YD	1.00
21	GRAVEL	1	CU YD	1.00	31	PAVING	1	CU YD	1.00
22	ASPHALT	1	CU YD	1.00	32	PAVING	1	CU YD	1.00
23	BRICK	1	CU YD	1.00	33	PAVING	1	CU YD	1.00
24	STONE	1	CU YD	1.00	34	PAVING	1	CU YD	1.00
25	SAND	1	CU YD	1.00	35	PAVING	1	CU YD	1.00
26	GRAVEL	1	CU YD	1.00	36	PAVING	1	CU YD	1.00
27	ASPHALT	1	CU YD	1.00	37	PAVING	1	CU YD	1.00
28	BRICK	1	CU YD	1.00	38	PAVING	1	CU YD	1.00
29	CEMENT	1	CU YD	1.00	39	PAVING	1	CU YD	1.00
30	GRAVEL	1	CU YD	1.00	40	PAVING	1	CU YD	1.00
31	ASPHALT	1	CU YD	1.00	41	PAVING	1	CU YD	1.00
32	BRICK	1	CU YD	1.00	42	PAVING	1	CU YD	1.00
33	STONE	1	CU YD	1.00	43	PAVING	1	CU YD	1.00
34	SAND	1	CU YD	1.00	44	PAVING	1	CU YD	1.00
35	GRAVEL	1	CU YD	1.00	45	PAVING	1	CU YD	1.00
36	ASPHALT	1	CU YD	1.00	46	PAVING	1	CU YD	1.00
37	BRICK	1	CU YD	1.00	47	PAVING	1	CU YD	1.00
38	CEMENT	1	CU YD	1.00	48	PAVING	1	CU YD	1.00
39	GRAVEL	1	CU YD	1.00	49	PAVING	1	CU YD	1.00
40	ASPHALT	1	CU YD	1.00	50	PAVING	1	CU YD	1.00
41	BRICK	1	CU YD	1.00	51	PAVING	1	CU YD	1.00
42	STONE	1	CU YD	1.00	52	PAVING	1	CU YD	1.00
43	SAND	1	CU YD	1.00	53	PAVING	1	CU YD	1.00
44	GRAVEL	1	CU YD	1.00	54	PAVING	1	CU YD	1.00
45	ASPHALT	1	CU YD	1.00	55	PAVING	1	CU YD	1.00
46	BRICK	1	CU YD	1.00	56	PAVING	1	CU YD	1.00
47	CEMENT	1	CU YD	1.00	57	PAVING	1	CU YD	1.00
48	GRAVEL	1	CU YD	1.00	58	PAVING	1	CU YD	1.00
49	ASPHALT	1	CU YD	1.00	59	PAVING	1	CU YD	1.00
50	BRICK	1	CU YD	1.00	60	PAVING	1	CU YD	1.00
51	STONE	1	CU YD	1.00	61	PAVING	1	CU YD	1.00
52	SAND	1	CU YD	1.00	62	PAVING	1	CU YD	1.00
53	GRAVEL	1	CU YD	1.00	63	PAVING	1	CU YD	1.00
54	ASPHALT	1	CU YD	1.00	64	PAVING	1	CU YD	1.00
55	BRICK	1	CU YD	1.00	65	PAVING	1	CU YD	1.00
56	CEMENT	1	CU YD	1.00	66	PAVING	1	CU YD	1.00
57	GRAVEL	1	CU YD	1.00	67	PAVING	1	CU YD	1.00
58	ASPHALT	1	CU YD	1.00	68	PAVING	1	CU YD	1.00
59	BRICK	1	CU YD	1.00	69	PAVING	1	CU YD	1.00
60	STONE	1	CU YD	1.00	70	PAVING	1	CU YD	1.00
61	SAND	1	CU YD	1.00	71	PAVING	1	CU YD	1.00
62	GRAVEL	1	CU YD	1.00	72	PAVING	1	CU YD	1.00
63	ASPHALT	1	CU YD	1.00	73	PAVING	1	CU YD	1.00
64	BRICK	1	CU YD	1.00	74	PAVING	1	CU YD	1.00
65	CEMENT	1	CU YD	1.00	75	PAVING	1	CU YD	1.00
66	GRAVEL	1	CU YD	1.00	76	PAVING	1	CU YD	1.00
67	ASPHALT	1	CU YD	1.00	77	PAVING	1	CU YD	1.00
68	BRICK	1	CU YD	1.00	78	PAVING	1	CU YD	1.00
69	STONE	1	CU YD	1.00	79	PAVING	1	CU YD	1.00
70	SAND	1	CU YD	1.00	80	PAVING	1	CU YD	1.00
71	GRAVEL	1	CU YD	1.00	81	PAVING	1	CU YD	1.00
72	ASPHALT	1	CU YD	1.00	82	PAVING	1	CU YD	1.00
73	BRICK	1	CU YD	1.00	83	PAVING	1	CU YD	1.00
74	CEMENT	1	CU YD	1.00	84	PAVING	1	CU YD	1.00
75	GRAVEL	1	CU YD	1.00	85	PAVING	1	CU YD	1.00
76	ASPHALT	1	CU YD	1.00	86	PAVING	1	CU YD	1.00
77	BRICK	1	CU YD	1.00	87	PAVING	1	CU YD	1.00
78	STONE	1	CU YD	1.00	88	PAVING	1	CU YD	1.00
79	SAND	1	CU YD	1.00	89	PAVING	1	CU YD	1.00
80	GRAVEL	1	CU YD	1.00	90	PAVING	1	CU YD	1.00
81	ASPHALT	1	CU YD	1.00	91	PAVING	1	CU YD	1.00
82	BRICK	1	CU YD	1.00	92	PAVING	1	CU YD	1.00
83	CEMENT	1	CU YD	1.00	93	PAVING	1	CU YD	1.00
84	GRAVEL	1	CU YD	1.00	94	PAVING	1	CU YD	1.00
85	ASPHALT	1	CU YD	1.00	95	PAVING	1	CU YD	1.00
86	BRICK	1	CU YD	1.00	96	PAVING	1	CU YD	1.00
87	STONE	1	CU YD	1.00	97	PAVING	1	CU YD	1.00
88	SAND	1	CU YD	1.00	98	PAVING	1	CU YD	1.00
89	GRAVEL	1	CU YD	1.00	99	PAVING	1	CU YD	1.00
90	ASPHALT	1	CU YD	1.00	100	PAVING	1	CU YD	1.00

PLAN REFERENCE:
THE EXISTING CONDITIONS PLAN REFERENCE THE PLANNED ROADWAY &
TOPOLAND SAFETY PLAN NUMBER TO QUALITY IMPROVEMENT,
INC. BY WATKINS ENGINEERING CO. (L) 10/1/95.

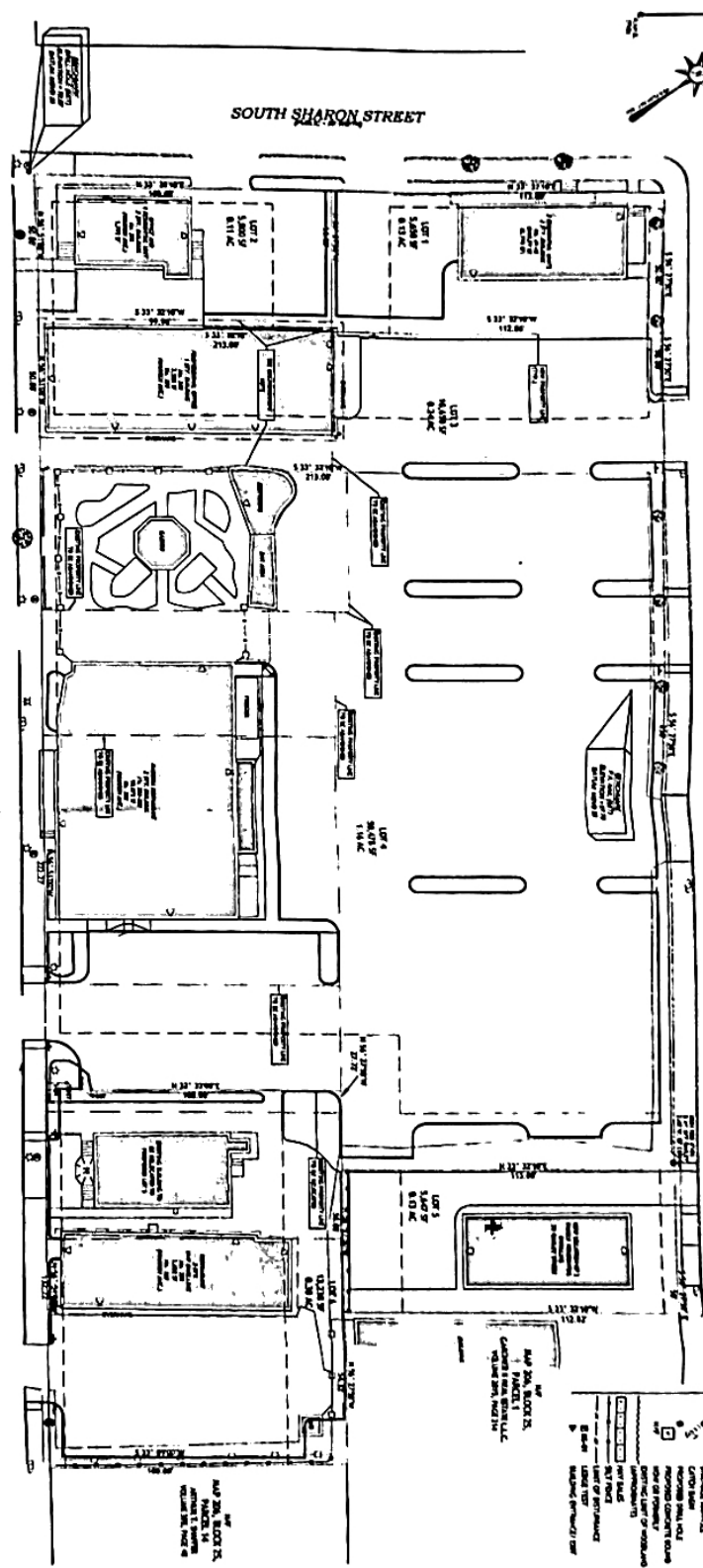
NO.	DESCRIPTION	QTY	UNIT	AMOUNT
1	CONCRETE	1	CU YD	1.00
2	CEMENT	1	CU YD	1.00
3	GRAVEL	1	CU YD	1.00
4	ASPHALT	1	CU YD	1.00
5	BRICK	1	CU YD	1.00
6	STONE	1	CU YD	1.00
7	SAND	1	CU YD	1.00
8	GRAVEL	1	CU YD	1.00
9	ASPHALT	1	CU YD	1.00
10	BRICK	1	CU YD	1.00
11	CEMENT	1	CU YD	1.00
12	GRAVEL	1	CU YD	1.00
13	ASPHALT	1	CU YD	1.00
14	BRICK	1	CU YD	1.00
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16	SAND	1	CU YD	1.00
17	GRAVEL	1	CU YD	1.00
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19	BRICK	1	CU YD	1.00
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24	STONE	1	CU YD	1.00
25	SAND	1	CU YD	1.00
26	GRAVEL	1	CU YD	1.00
27	ASPHALT	1	CU YD	1.00
28	BRICK	1	CU YD	1.00
29	CEMENT	1	CU YD	1.00
30	GRAVEL	1	CU YD	1.00
31	ASPHALT	1	CU YD	1.00
32	BRICK	1	CU YD	1.00
33	STONE	1	CU YD	1.00
34	SAND	1	CU YD	1.00
35	GRAVEL	1	CU YD	1.00
36	ASPHALT	1	CU YD	1.00
37	BRICK	1	CU YD	1.00
38	CEMENT	1	CU YD	1.00
39	GRAVEL	1	CU YD	1.00
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44	GRAVEL	1	CU YD	1.00
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53	GRAVEL	1	CU YD	1.00
54	ASPHALT	1	CU YD	1.00
55	BRICK	1	CU YD	1.00
56	CEMENT	1	CU YD	1.00
57	GRAVEL	1	CU YD	1.00
58	ASPHALT	1	CU YD	1.00

ZONE	MINIMUM LOT AREA	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH	MINIMUM LOT AREA	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH
R-1	10,000	30	100	10,000	30	100
R-2	15,000	40	150	15,000	40	150
R-3	20,000	50	200	20,000	50	200
R-4	25,000	60	250	25,000	60	250
R-5	30,000	70	300	30,000	70	300
R-6	35,000	80	350	35,000	80	350
R-7	40,000	90	400	40,000	90	400
R-8	45,000	100	450	45,000	100	450
R-9	50,000	110	500	50,000	110	500
R-10	55,000	120	550	55,000	120	550
R-11	60,000	130	600	60,000	130	600
R-12	65,000	140	650	65,000	140	650
R-13	70,000	150	700	70,000	150	700
R-14	75,000	160	750	75,000	160	750
R-15	80,000	170	800	80,000	170	800
R-16	85,000	180	850	85,000	180	850
R-17	90,000	190	900	90,000	190	900
R-18	95,000	200	950	95,000	200	950
R-19	100,000	210	1,000	100,000	210	1,000
R-20	105,000	220	1,050	105,000	220	1,050
R-21	110,000	230	1,100	110,000	230	1,100
R-22	115,000	240	1,150	115,000	240	1,150
R-23	120,000	250	1,200	120,000	250	1,200
R-24	125,000	260	1,250	125,000	260	1,250
R-25	130,000	270	1,300	130,000	270	1,300
R-26	135,000	280	1,350	135,000	280	1,350
R-27	140,000	290	1,400	140,000	290	1,400
R-28	145,000	300	1,450	145,000	300	1,450
R-29	150,000	310	1,500	150,000	310	1,500
R-30	155,000	320	1,550	155,000	320	1,550
R-31	160,000	330	1,600	160,000	330	1,600
R-32	165,000	340	1,650	165,000	340	1,650
R-33	170,000	350	1,700	170,000	350	1,700
R-34	175,000	360	1,750	175,000	360	1,750
R-35	180,000	370	1,800	180,000	370	1,800
R-36	185,000	380	1,850	185,000	380	1,850
R-37	190,000	390	1,900	190,000	390	1,900
R-38	195,000	400	1,950	195,000	400	1,950
R-39	200,000	410	2,000	200,000	410	2,000
R-40	205,000	420	2,050	205,000	420	2,050
R-41	210,000	430	2,100	210,000	430	2,100
R-42	215,000	440	2,150	215,000	440	2,150
R-43	220,000	450	2,200	220,000	450	2,200
R-44	225,000	460	2,250	225,000	460	2,250
R-45	230,000	470	2,300	230,000	470	2,300
R-46	235,000	480	2,350	235,000	480	2,350
R-47	240,000	490	2,400	240,000	490	2,400
R-48	245,000	500	2,450	245,000	500	2,450
R-49	250,000	510	2,500	250,000	510	2,500
R-50	255,000	520	2,550	255,000	520	2,550
R-51	260,000	530	2,600	260,000	530	2,600
R-52	265,000	540	2,650	265,000	540	2,650
R-53	270,000	550	2,700	270,000	550	2,700
R-54	275,000	560	2,750	275,000	560	2,750
R-55	280,000	570	2,800	280,000	570	2,800
R-56	285,000	580	2,850	285,000	580	2,850
R-57	290,000	590	2,900	290,000	590	2,900
R-58	295,000	600	2,950	295,000	600	2,950
R-59	300,000	610	3,000	300,000	610	3,000
R-60	305,000	620	3,050	305,000	620	3,050
R-61	310,000	630	3,100	310,000	630	3,100
R-62	315,000	640	3,150	315,000	640	3,150
R-63	320,000	650	3,200	320,000	650	3,200
R-64	325,000	660	3,250	325,000	660	3,250
R-65	330,000	670	3,300	330,000	670	3,300
R-66	335,000	680	3,350	335,000	680	3,350
R-67	340,000	690	3,400	340,000	690	3,400
R-68	345,000	700	3,450	345,000	700	3,450
R-69	350,000	710	3,500	350,000	710	3,500
R-70	355,000	720	3,550	355,000	720	3,550
R-71	360,000	730	3,600	360,000	730	3,600
R-72	365,000	740	3,650	365,000	740	3,650
R-73	370,000	750	3,700	370,000	750	3,700
R-74	375,000	760	3,750	375,000	760	3,750
R-75	380,000	770	3,800	380,000	770	3,800
R-76	385,000	780	3,850	385,000	780	3,850
R-77	390,000	790	3,900	390,000	790	3,900
R-78	395,000	800	3,950	395,000	800	3,950
R-79	400,000	810	4,000	400,000	810	4,000
R-80	405,000	820	4,050	405,000	820	4,050
R-81	410,000	830	4,100	410,000	830	4,100
R-82	415,000	840	4,150	415,000	840	4,150
R-83	420,000	850	4,200	420,000	850	4,200
R-84	425,000	860	4,250	425,000	860	4,250
R-85	430,000	870	4,300	430,000	870	4,300
R-86	435,000	880	4,350	435,000	880	4,350
R-87	440,000	890	4,400	440,000	890	4,400
R-88	445,000	900	4,450	445,000	900	4,450
R-89	450,000	910	4,500	450,000	910	4,500
R-90	455,000	920	4,550	455,000	920	4,550
R-91	460,000	930	4,600	460,000	930	4,600
R-92	465,000	940	4,650	465,000	940	4,650
R-93	470,000	950	4,700	470,000	950	4,700
R-94	475,000	960	4,750	475,000	960	4,750
R-95	480,000	970	4,800	480,000	970	4,800
R-96	485,000	980	4,850	485,000	980	4,850
R-97	490,000	990	4,900	490,000	990	4,900
R-98	495,000	1,000	4,950	495,000	1,000	4,950
R-99	500,000	1,010	5,000	500,000	1,010	5,000
R-100	505,000	1,020	5,050	505,000	1,020	5,050

ENCROACHMENT NOTE:
PROPERTY LINES SHOWN TO BE ADJACENT TO BE EXAMINED
TO ACCOMMODATE EXISTING BUILDING FOOTPRINT

VETERANS MEMORIAL EXPRESSWAY - I-195
PROPERTY LINES SHOWN TO BE ADJACENT TO BE EXAMINED

OAKLEY STREET
ROAD - 20' WIDE



SYMBOL	DESCRIPTION
---	EXISTING PROPERTY LINE
---	EXISTING LOT LINE
---	EXISTING BUILDING FOOTPRINT
---	EXISTING DRIVEWAY
---	EXISTING SIDEWALK
---	EXISTING CURB
---	EXISTING STREET
---	EXISTING ALLEY
---	EXISTING RAILROAD
---	EXISTING CANAL
---	EXISTING DRAINAGE
---	EXISTING UTILITY
---	EXISTING FENCE
---	EXISTING WALL
---	EXISTING DOOR
---	EXISTING WINDOW
---	EXISTING ROOF
---	EXISTING FLOOR
---	EXISTING CEILING
---	EXISTING STAIR
---	EXISTING ELEVATOR
---	EXISTING HALL
---	EXISTING ROOM
---	EXISTING OFFICE
---	EXISTING KITCHEN
---	EXISTING BATH
---	EXISTING BEDROOM
---	EXISTING LIVING ROOM
---	EXISTING DINING ROOM
---	EXISTING BREAKFAST ROOM
---	EXISTING PORCH
---	EXISTING PATIO
---	EXISTING TERRACE
---	EXISTING BALCONY
---	EXISTING DECK
---	EXISTING GARDEN
---	EXISTING LAWN
---	EXISTING YARD
---	EXISTING DRIVE
---	EXISTING PARKING
---	EXISTING GARAGE
---	EXISTING SHED
---	EXISTING BARN
---	EXISTING STABLE
---	EXISTING COBBLE
---	EXISTING GRAVEL
---	EXISTING ASPHALT
---	EXISTING CONCRETE
---	EXISTING BRICK
---	EXISTING STONE
---	EXISTING MASONRY
---	EXISTING METAL
---	EXISTING WOOD
---	EXISTING PLASTER
---	EXISTING GIPSUM
---	EXISTING CEMENT
---	EXISTING SAND
---	EXISTING GRAVEL
---	EXISTING SOIL
---	EXISTING ROCK
---	EXISTING CLAY
---	EXISTING SILT
---	EXISTING LOESS
---	EXISTING ALLUVIUM
---	EXISTING COLLUVIUM
---	EXISTING EOLIAN
---	EXISTING GLACIAL
---	EXISTING MARINE
---	EXISTING FLUVIAL
---	EXISTING LACUSTRIAN
---	EXISTING PLEISTOCENE
---	EXISTING HOLOCENE
---	EXISTING QUATERNARY
---	EXISTING CENOZOIC
---	EXISTING MESOZOIC
---	EXISTING PALEOZOIC
---	EXISTING PRECAMBRIAN
---	EXISTING PROTEROZOIC
---	EXISTING ARCHAEOZOIC
---	EXISTING EARTH
---	EXISTING UNIVERSE

"I DO HEREBY CERTIFY THAT THE SUBDIVISION PLAT MEETS THE REQUIREMENTS OF THE EAST PROVIDENCE LAND DEVELOPMENT AND SUBDIVISION REVIEW REGULATIONS AND IS NOW ELIGIBLE FOR RECORDING."

"I DO HEREBY CERTIFY THAT THE LOTS SHOWN ON SUBDIVISION PLAT MEET THE SCHEDULE OF AREA AND OTHER DIMENSIONAL PROVISIONS OF CHAPTER 19 ZONING, OF THE REVENUE ORDINANCES OF EAST PROVIDENCE."

"I DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PREPARED UNDER THE DIRECTION AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE PROVISIONS OF THE PROPERTY BEING SUBDIVIDED ARE TRUE AND ACCURATE."

DATE: _____ PLANNING DIRECTOR
DATE: _____ ZONING OFFICER
DATE: _____ PROFESSIONAL LAND SURVEYOR

WATERMAN ENGINEERING CO.
ONE 44 STATE AVENUE
EAST PROVIDENCE, RHODE ISLAND 02914
TEL: (401) 333-3333 FAX: (401) 333-3333

NO.	REVISION	DATE	BY	CHKD.
1	AS SHOWN	10/1/00	WATERMAN	WATERMAN
2	AS SHOWN	10/1/00	WATERMAN	WATERMAN
3	AS SHOWN	10/1/00	WATERMAN	WATERMAN
4	AS SHOWN	10/1/00	WATERMAN	WATERMAN
5	AS SHOWN	10/1/00	WATERMAN	WATERMAN
6	AS SHOWN	10/1/00	WATERMAN	WATERMAN
7	AS SHOWN	10/1/00	WATERMAN	WATERMAN
8	AS SHOWN	10/1/00	WATERMAN	WATERMAN
9	AS SHOWN	10/1/00	WATERMAN	WATERMAN
10	AS SHOWN	10/1/00	WATERMAN	WATERMAN
11	AS SHOWN	10/1/00	WATERMAN	WATERMAN
12	AS SHOWN	10/1/00	WATERMAN	WATERMAN

MADEIRA RESTAURANT
WARREN AVE, S SHARON ST, OAKLEY ST.
EAST PROVIDENCE, RHODE ISLAND
MAP 206, BLOCK 25, PARCELS 2-12

DETEC
WAMICO ENGINEERING TECHNOLOGY, INC.
One Waterman Engineering Technology, Inc.
100 Waterman Engineering Technology, Inc.
100 Waterman Engineering Technology, Inc.
100 Waterman Engineering Technology, Inc.

SECTION 1.0 - GENERAL

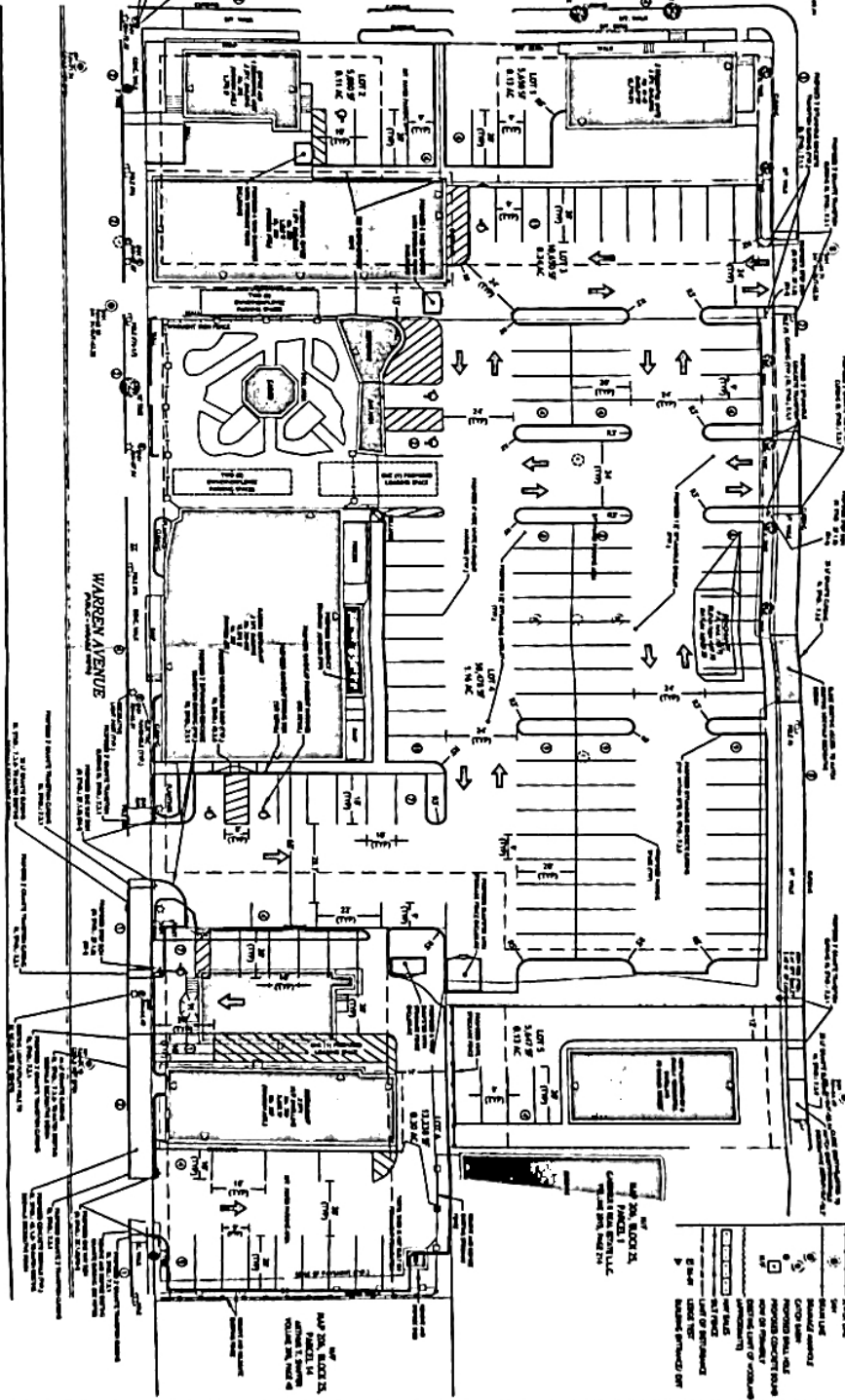
NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1.01	Excavate and backfill	100	CY	1.00	100.00
1.02	Gravel base	200	CY	2.00	400.00
1.03	Asphalt concrete	100	CY	1.00	100.00
1.04	Concrete curb	100	LF	1.00	100.00
1.05	Concrete sidewalk	100	LF	1.00	100.00
1.06	Concrete parking space	100	LF	1.00	100.00
1.07	Concrete curb	100	LF	1.00	100.00
1.08	Concrete sidewalk	100	LF	1.00	100.00
1.09	Concrete parking space	100	LF	1.00	100.00
1.10	Concrete curb	100	LF	1.00	100.00
1.11	Concrete sidewalk	100	LF	1.00	100.00
1.12	Concrete parking space	100	LF	1.00	100.00
1.13	Concrete curb	100	LF	1.00	100.00
1.14	Concrete sidewalk	100	LF	1.00	100.00
1.15	Concrete parking space	100	LF	1.00	100.00
1.16	Concrete curb	100	LF	1.00	100.00
1.17	Concrete sidewalk	100	LF	1.00	100.00
1.18	Concrete parking space	100	LF	1.00	100.00
1.19	Concrete curb	100	LF	1.00	100.00
1.20	Concrete sidewalk	100	LF	1.00	100.00
1.21	Concrete parking space	100	LF	1.00	100.00
1.22	Concrete curb	100	LF	1.00	100.00
1.23	Concrete sidewalk	100	LF	1.00	100.00
1.24	Concrete parking space	100	LF	1.00	100.00
1.25	Concrete curb	100	LF	1.00	100.00
1.26	Concrete sidewalk	100	LF	1.00	100.00
1.27	Concrete parking space	100	LF	1.00	100.00
1.28	Concrete curb	100	LF	1.00	100.00
1.29	Concrete sidewalk	100	LF	1.00	100.00
1.30	Concrete parking space	100	LF	1.00	100.00
1.31	Concrete curb	100	LF	1.00	100.00
1.32	Concrete sidewalk	100	LF	1.00	100.00
1.33	Concrete parking space	100	LF	1.00	100.00
1.34	Concrete curb	100	LF	1.00	100.00
1.35	Concrete sidewalk	100	LF	1.00	100.00
1.36	Concrete parking space	100	LF	1.00	100.00
1.37	Concrete curb	100	LF	1.00	100.00
1.38	Concrete sidewalk	100	LF	1.00	100.00
1.39	Concrete parking space	100	LF	1.00	100.00
1.40	Concrete curb	100	LF	1.00	100.00
1.41	Concrete sidewalk	100	LF	1.00	100.00
1.42	Concrete parking space	100	LF	1.00	100.00
1.43	Concrete curb	100	LF	1.00	100.00
1.44	Concrete sidewalk	100	LF	1.00	100.00
1.45	Concrete parking space	100	LF	1.00	100.00
1.46	Concrete curb	100	LF	1.00	100.00
1.47	Concrete sidewalk	100	LF	1.00	100.00
1.48	Concrete parking space	100	LF	1.00	100.00
1.49	Concrete curb	100	LF	1.00	100.00
1.50	Concrete sidewalk	100	LF	1.00	100.00
1.51	Concrete parking space	100	LF	1.00	100.00
1.52	Concrete curb	100	LF	1.00	100.00
1.53	Concrete sidewalk	100	LF	1.00	100.00
1.54	Concrete parking space	100	LF	1.00	100.00
1.55	Concrete curb	100	LF	1.00	100.00
1.56	Concrete sidewalk	100	LF	1.00	100.00
1.57	Concrete parking space	100	LF	1.00	100.00
1.58	Concrete curb	100	LF	1.00	100.00
1.59	Concrete sidewalk	100	LF	1.00	100.00
1.60	Concrete parking space	100	LF	1.00	100.00
1.61	Concrete curb	100	LF	1.00	100.00
1.62	Concrete sidewalk	100	LF	1.00	100.00
1.63	Concrete parking space	100	LF	1.00	100.00
1.64	Concrete curb	100	LF	1.00	100.00
1.65	Concrete sidewalk	100	LF	1.00	100.00
1.66	Concrete parking space	100	LF	1.00	100.00
1.67	Concrete curb	100	LF	1.00	100.00
1.68	Concrete sidewalk	100	LF	1.00	100.00
1.69	Concrete parking space	100	LF	1.00	100.00
1.70	Concrete curb	100	LF	1.00	100.00
1.71	Concrete sidewalk	100	LF	1.00	100.00
1.72	Concrete parking space	100	LF	1.00	100.00
1.73	Concrete curb	100	LF	1.00	100.00
1.74	Concrete sidewalk	100	LF	1.00	100.00
1.75	Concrete parking space	100	LF	1.00	100.00
1.76	Concrete curb	100	LF	1.00	100.00
1.77	Concrete sidewalk	100	LF	1.00	100.00
1.78	Concrete parking space	100	LF	1.00	100.00
1.79	Concrete curb	100	LF	1.00	100.00
1.80	Concrete sidewalk	100	LF	1.00	100.00
1.81	Concrete parking space	100	LF	1.00	100.00
1.82	Concrete curb	100	LF	1.00	100.00
1.83	Concrete sidewalk	100	LF	1.00	100.00
1.84	Concrete parking space	100	LF	1.00	100.00
1.85	Concrete curb	100	LF	1.00	100.00
1.86	Concrete sidewalk	100	LF	1.00	100.00
1.87	Concrete parking space	100	LF	1.00	100.00
1.88	Concrete curb	100	LF	1.00	100.00
1.89	Concrete sidewalk	100	LF	1.00	100.00
1.90	Concrete parking space	100	LF	1.00	100.00
1.91	Concrete curb	100	LF	1.00	100.00
1.92	Concrete sidewalk	100	LF	1.00	100.00
1.93	Concrete parking space	100	LF	1.00	100.00
1.94	Concrete curb	100	LF	1.00	100.00
1.95	Concrete sidewalk	100	LF	1.00	100.00
1.96	Concrete parking space	100	LF	1.00	100.00
1.97	Concrete curb	100	LF	1.00	100.00
1.98	Concrete sidewalk	100	LF	1.00	100.00
1.99	Concrete parking space	100	LF	1.00	100.00
2.00	Concrete curb	100	LF	1.00	100.00

VETERANS MEMORIAL EXPRESSWAY - I-195

OAKLEY STREET

SOUTH SHARON STREET

WARREN AVENUE



ENCLOSURE NOTE:
PROPERTY LINES ARE TO BE SHOWN BY SURVEY TO BE OBTAINED BY ACCORDANCE WITH THE RECORDING ACT.

NOTE:
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PROVIDENCE AND THE STATE OF RHODE ISLAND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PROVIDENCE AND THE STATE OF RHODE ISLAND.

- 1. EXISTING LOT LINES
- 2. EXISTING BUILDING FOOTPRINT
- 3. EXISTING DRIVEWAYS
- 4. EXISTING SIDEWALKS
- 5. EXISTING CURBS
- 6. EXISTING PAVEMENT
- 7. EXISTING UTILITIES
- 8. EXISTING TREES
- 9. EXISTING LANDSCAPE
- 10. EXISTING FENCES
- 11. EXISTING SIGNAGE
- 12. EXISTING LIGHTING
- 13. EXISTING SECURITY
- 14. EXISTING ACCESS
- 15. EXISTING EGRESS
- 16. EXISTING VENTILATION
- 17. EXISTING HEATING
- 18. EXISTING COOLING
- 19. EXISTING PLUMBING
- 20. EXISTING ELECTRICAL
- 21. EXISTING TELEPHONE
- 22. EXISTING CABLE
- 23. EXISTING INTERNET
- 24. EXISTING SATELLITE
- 25. EXISTING RADIO
- 26. EXISTING TV
- 27. EXISTING AUDIO
- 28. EXISTING VIDEO
- 29. EXISTING DATA
- 30. EXISTING VOICE
- 31. EXISTING TEXT
- 32. EXISTING IMAGE
- 33. EXISTING SOUND
- 34. EXISTING TASTE
- 35. EXISTING SMELL
- 36. EXISTING TOUCH
- 37. EXISTING FEEL
- 38. EXISTING THINK
- 39. EXISTING EMOTION
- 40. EXISTING BEHAVIOR
- 41. EXISTING ATTITUDE
- 42. EXISTING BELIEF
- 43. EXISTING OPINION
- 44. EXISTING JUDGMENT
- 45. EXISTING REASON
- 46. EXISTING FACT
- 47. EXISTING TRUTH
- 48. EXISTING REALITY
- 49. EXISTING EXISTENCE
- 50. EXISTING BEING

MADEIRA RESTAURANT
WARREN AVE, S SHARON ST, OAKLEY ST.
EAST PROVIDENCE, RHODE ISLAND
MAP 206, BLOCK 25, PARCELS 2-12

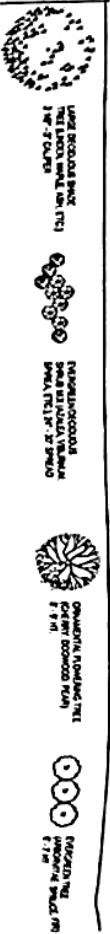
DETEC
D'AMICO ENGINEERING TECHNOLOGY, INC.
Civil, Mechanical, Electrical, and Land Use
1524 Mount Spring Ave., North Providence, RI 02904
(401) 885-1100 FAX (401) 885-1101

SITE PLAN

7 OF 12

NO.	DESCRIPTION	DATE	BY	CHKD.
1	PRELIMINARY	10/1/00	J. DELO	J. DELO
2	FINAL	10/1/00	J. DELO	J. DELO
3	REVISION	10/1/00	J. DELO	J. DELO
4	REVISION	10/1/00	J. DELO	J. DELO
5	REVISION	10/1/00	J. DELO	J. DELO
6	REVISION	10/1/00	J. DELO	J. DELO
7	REVISION	10/1/00	J. DELO	J. DELO
8	REVISION	10/1/00	J. DELO	J. DELO
9	REVISION	10/1/00	J. DELO	J. DELO
10	REVISION	10/1/00	J. DELO	J. DELO
11	REVISION	10/1/00	J. DELO	J. DELO
12	REVISION	10/1/00	J. DELO	J. DELO
13	REVISION	10/1/00	J. DELO	J. DELO
14	REVISION	10/1/00	J. DELO	J. DELO
15	REVISION	10/1/00	J. DELO	J. DELO
16	REVISION	10/1/00	J. DELO	J. DELO
17	REVISION	10/1/00	J. DELO	J. DELO
18	REVISION	10/1/00	J. DELO	J. DELO
19	REVISION	10/1/00	J. DELO	J. DELO
20	REVISION	10/1/00	J. DELO	J. DELO
21	REVISION	10/1/00	J. DELO	J. DELO
22	REVISION	10/1/00	J. DELO	J. DELO
23	REVISION	10/1/00	J. DELO	J. DELO
24	REVISION	10/1/00	J. DELO	J. DELO
25	REVISION	10/1/00	J. DELO	J. DELO
26	REVISION	10/1/00	J. DELO	J. DELO
27	REVISION	10/1/00	J. DELO	J. DELO
28	REVISION	10/1/00	J. DELO	J. DELO
29	REVISION	10/1/00	J. DELO	J. DELO
30	REVISION	10/1/00	J. DELO	J. DELO
31	REVISION	10/1/00	J. DELO	J. DELO
32	REVISION	10/1/00	J. DELO	J. DELO
33	REVISION	10/1/00	J. DELO	J. DELO
34	REVISION	10/1/00	J. DELO	J. DELO
35	REVISION	10/1/00	J. DELO	J. DELO
36	REVISION	10/1/00	J. DELO	J. DELO
37	REVISION	10/1/00	J. DELO	J. DELO
38	REVISION	10/1/00	J. DELO	J. DELO
39	REVISION	10/1/00	J. DELO	J. DELO
40	REVISION	10/1/00	J. DELO	J. DELO
41	REVISION	10/1/00	J. DELO	J. DELO
42	REVISION	10/1/00	J. DELO	J. DELO
43	REVISION	10/1/00	J. DELO	J. DELO
44	REVISION	10/1/00	J. DELO	J. DELO
45	REVISION	10/1/00	J. DELO	J. DELO
46	REVISION	10/1/00	J. DELO	J. DELO
47	REVISION	10/1/00	J. DELO	J. DELO
48	REVISION	10/1/00	J. DELO	J. DELO
49	REVISION	10/1/00	J. DELO	J. DELO
50	REVISION	10/1/00	J. DELO	J. DELO

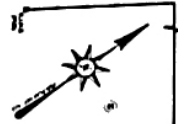
LANDSCAPE LEGEND



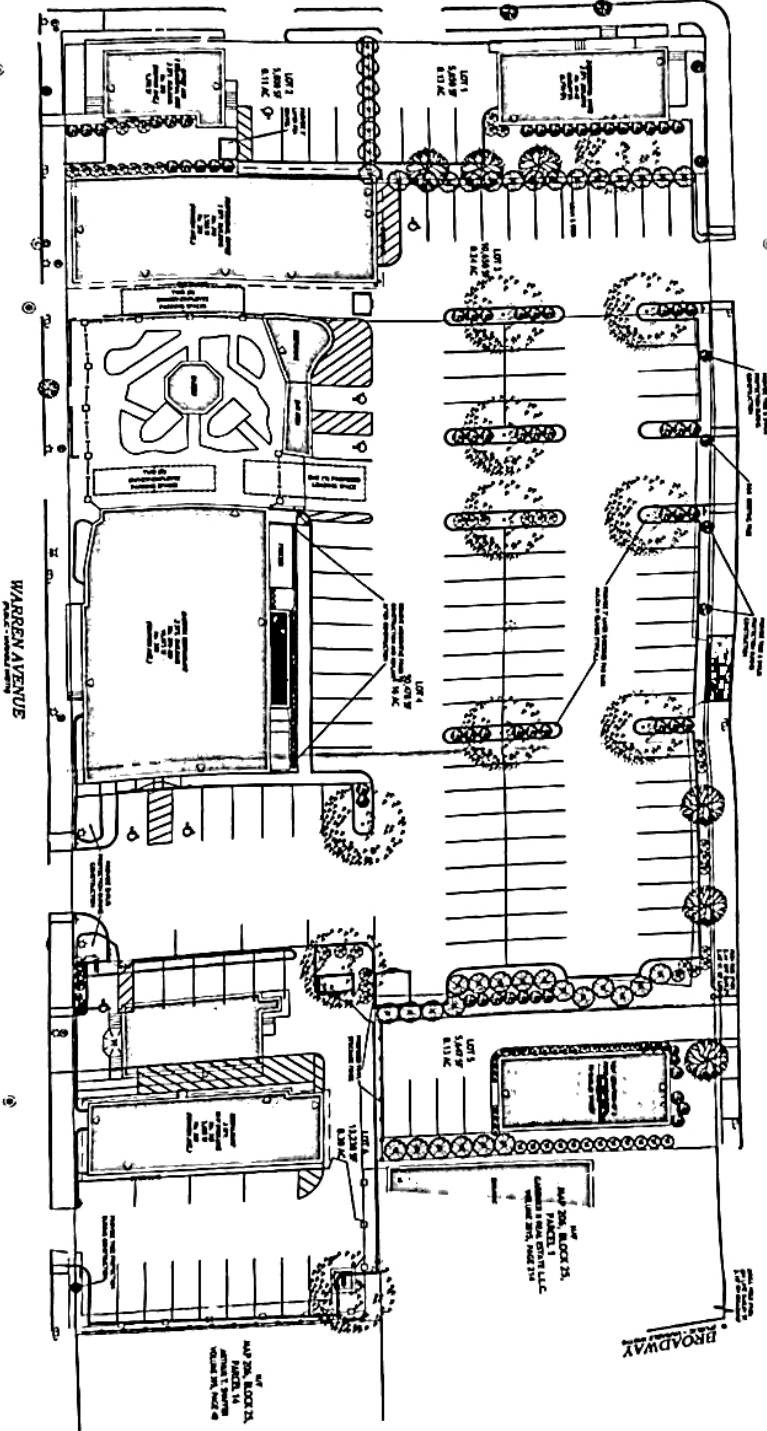
NOTE: Upon approval of Preliminary Landscape Plan, a Final Landscape Plan will be prepared containing Plant Schedule, Planting Details and Planting Specifications

VETERANS MEMORIAL EXPRESSWAY - I-195

OAKLEY STREET



SOUTH SHARON STREET

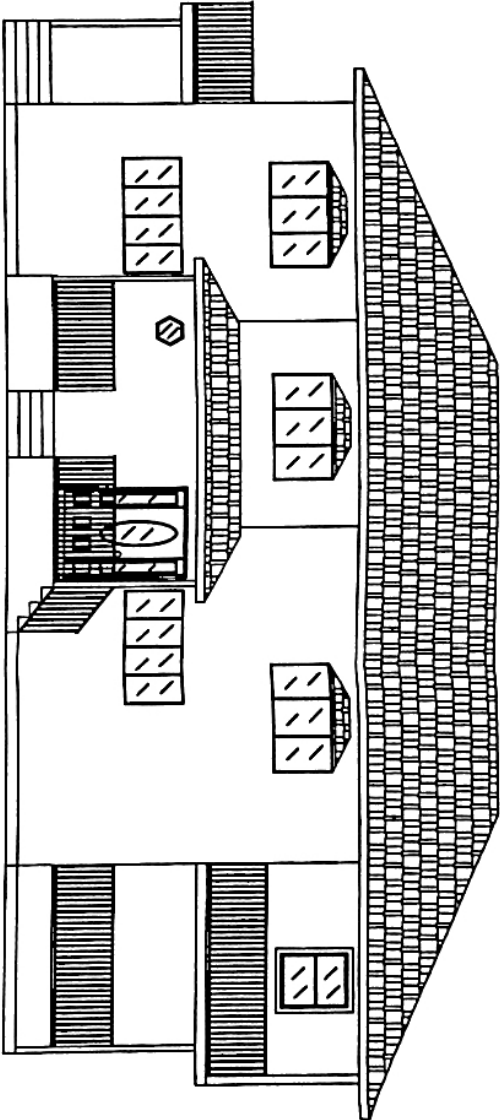


LANDSCAPE ARCHITECT
DIANE C. SOULE & ASSOCIATES, ASIA
LANDSCAPE ARCHITECTS, INC.
1000 N. Main Street, Suite 100
Providence, Rhode Island 02903
TEL: 401-846-1111
FAX: 401-846-1112
WWW.DIANESOULE.COM

MADEIRA RESTAURANT
WARREN AVE, S SHARON ST, OAKLEY ST.
EAST PROVIDENCE, RHODE ISLAND
MAP 206, BLOCK 25, PARCELS 2-12

DETEC
D'AMICO ENGINEERING TECHNOLOGY, INC.
Civil Transportation Land Use
1824 Mount Spring Ave., North Providence, RI 02904
TEL: 401-846-1111 FAX: 401-846-1112
WWW.DAMICOENGINEERING.COM

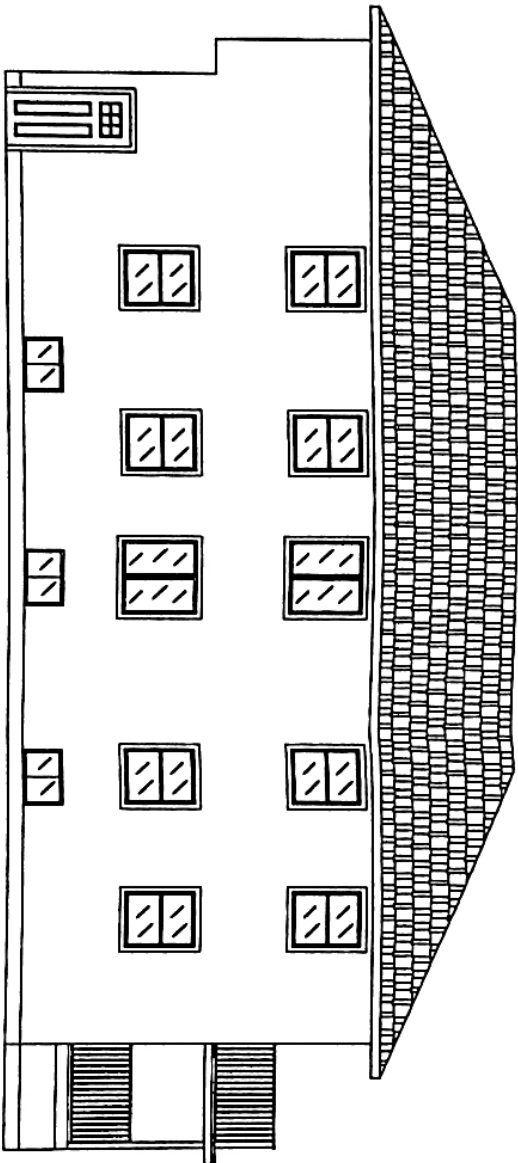
LANDSCAPE PLAN
SHEET 9 OF 12



A EXISTING FRONT ELEVATION
 SCALE: 3/8"=1'-0"

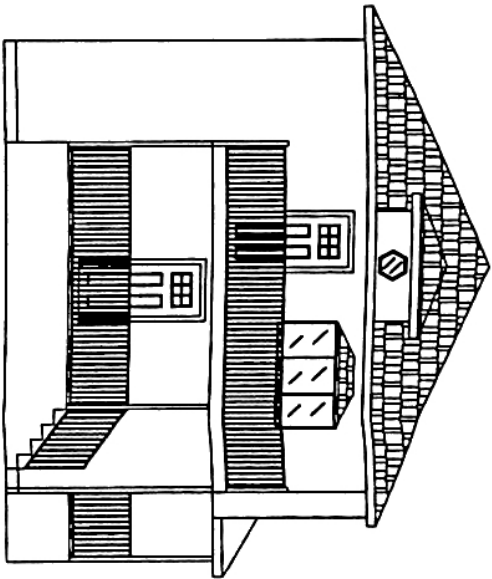
DATE		BY	
APPROVED AS CORRECTED		DATE	
BY		BY	

Empire Builders 100 West 1st St. New York, N.Y. 10001	
JOB NO. 11-20-81	LOCATION 511 CANAL ST. EAST BUILDING CO. 504
ARCHITECT Empire Bldg. Co. Inc.	CONTRACTOR Empire Bldg. Co. Inc.
FLOOR 5th Fl.	DATE 11-20-81
DRAWING NO. 11-20-81	SCALE 3/8" = 1'-0"
DRAWN BY J. J. J.	CHECKED BY J. J. J.
DATE 11-20-81	BY J. J. J.



8 EXISTING REAR ELEVATION
SCALE: 3/8"=1'-0"

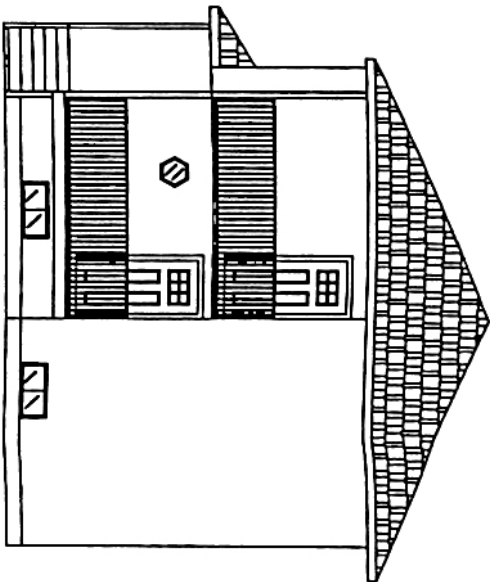
 Empire Builders OF NEW YORK STATE 100 WEST STREET NEW YORK, N.Y. 10038		DATE: 10/1/10 SCALE: 3/8"=1'-0" BY: [Signature]	
JOB: 100-100-100 LOCATION: 55 Hudson Street, 1st Floor, New York, NY 10014 APPROVED: [Signature] CONTRACTOR: [Signature]		DATE: 10/1/10 SCALE: 3/8"=1'-0" BY: [Signature]	
FLOOR: 1st Floor DOOR/Windows: [Signature]		DATE: 10/1/10 SCALE: 3/8"=1'-0" BY: [Signature]	
Project Name: [Signature] Contractor: [Signature]		DATE: 10/1/10 SCALE: 3/8"=1'-0" BY: [Signature]	



① EXISTING LEFT ELEVATION
SCALE: 3/8"=1'-0"

DATE: 11/1/2014		SCALE: 3/8"=1'-0"		DATE: 11/1/2014	
DRAWN BY: J. B. B.		CHECKED BY: J. B. B.		DATE: 11/1/2014	
APPROVED AS CORRECTED		DATE: 11/1/2014		DATE: 11/1/2014	
DATE: 11/1/2014		DATE: 11/1/2014		DATE: 11/1/2014	

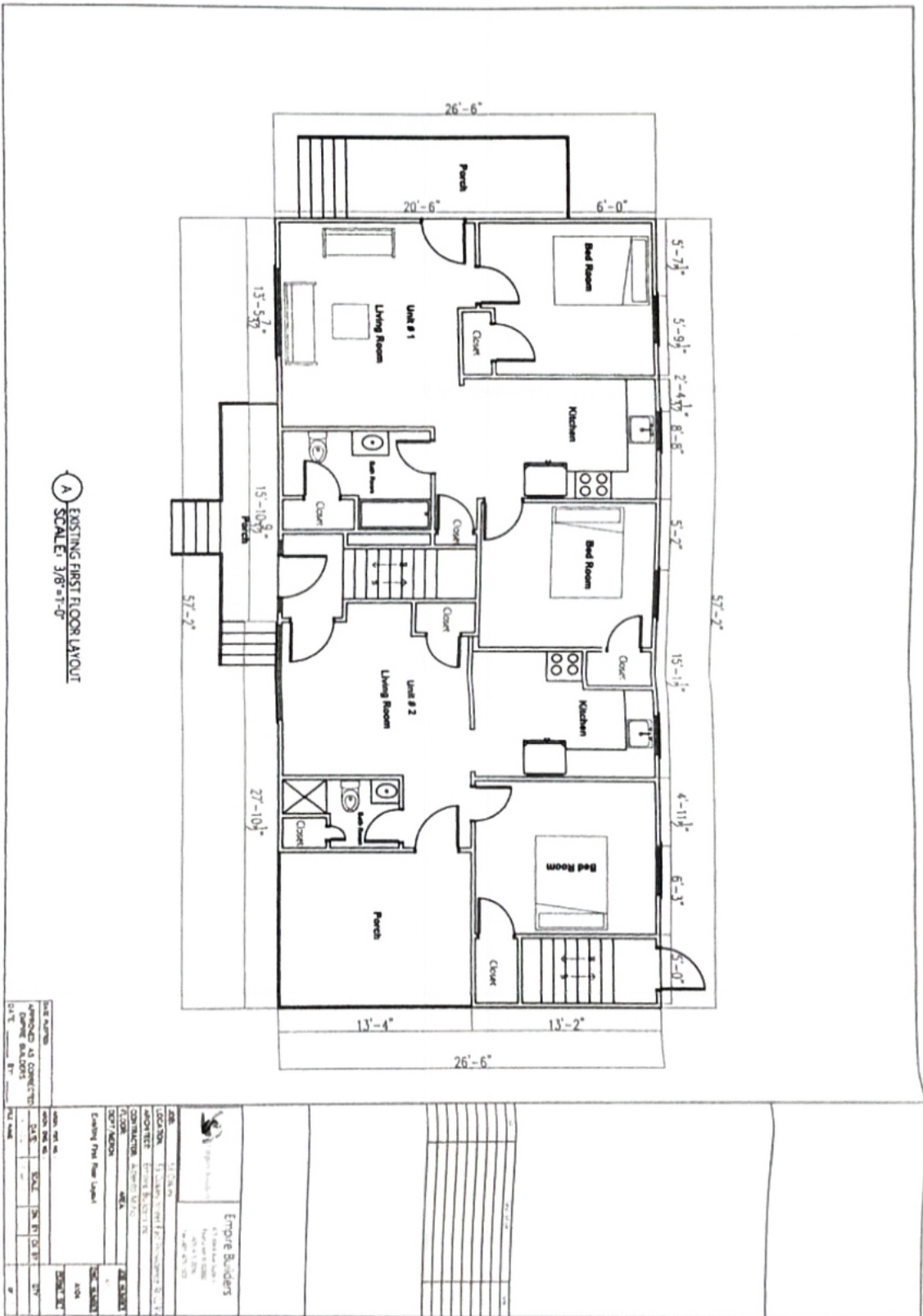
		Empire Builders 1100 West 10th Street Suite 100 Anchorage, AK 99501	
PROJECT INFORMATION LOCATION: 1100 West 10th Street ARCHITECT: Empire Builders CONTRACTOR: Empire Builders FLOOR: 1st Floor DATE: 11/1/2014 DRAWING TITLE: Existing Left Side Elevation		REVISIONS NO. DATE DESCRIPTION 1 11/1/2014 Initial Drawing	



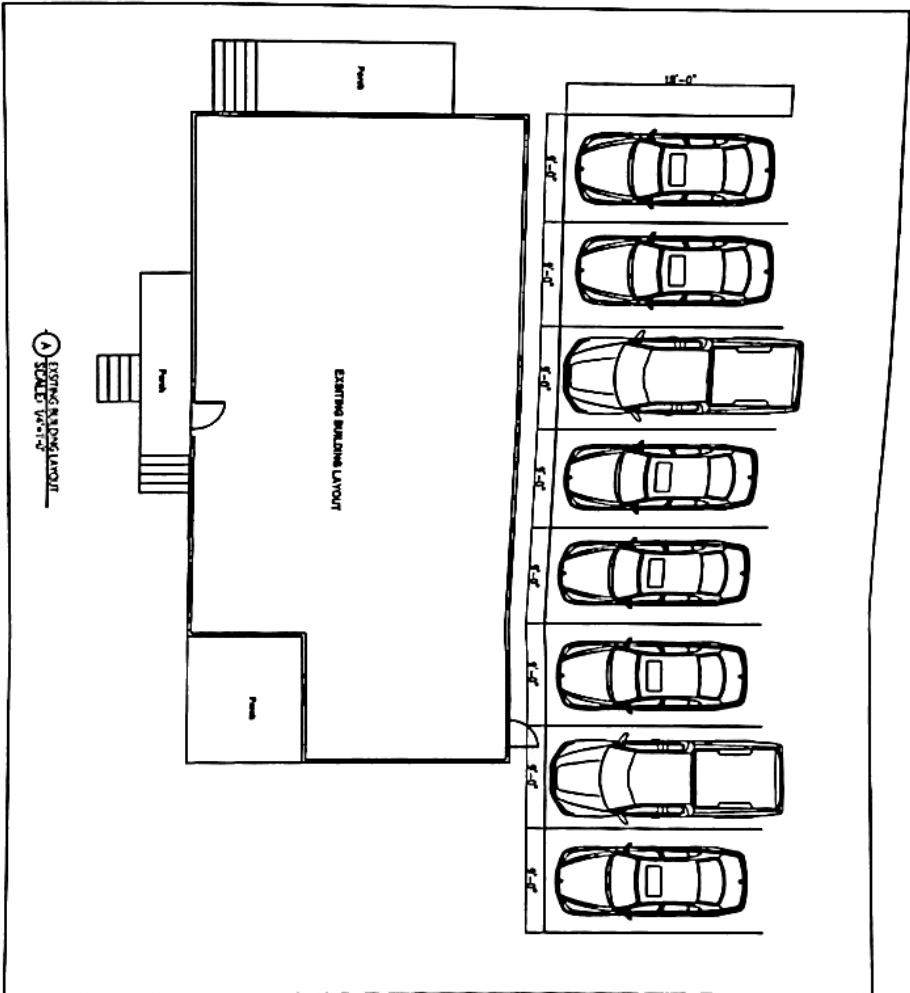
C EXISTING RIGHT ELEVATION
SCALE: 3/8"=1'-0"

NOTES	
1. APPROVED AS SHOWN	
DATE: 10/1/10	BY: [Signature]

DATE: 10/1/10	BY: [Signature]
PROJECT: 10/1/10	LOCATION: 10/1/10
CONTRACTOR: 10/1/10	ARCHITECT: 10/1/10
DESIGNER: 10/1/10	CLIENT: 10/1/10
DATE: 10/1/10	BY: [Signature]



[illegible]



EXISTING BUILDING LAYOUT
SCALE: 1/8" = 1'-0"

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DATE	BY

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APPROVED AS CONNECTED	
DATE	BY

ABUTTERS LIST
41-43 Oakley Avenue
206-25-4

ParcelID	Owners Name	Mailing Address	City, State, Zip Code	Location
206-30-001-00	JDM HOLDINGS LLC	58 LENOX AVENUE	WEST WARWICK, RI 02893	263 WARREN AVE
206-25-006-00	MILHO, ALBERTINO & ZITA	3 KETTLE PT AVE	E PROVIDENCE, RI 02914	278 WARREN AVE
206-26-017-00	BORGES, JOSE J & ELENA C-TRSJOSE J & ELENA C BORGES IRREV	55 BROOKHAVEN DR	EAST PROVIDENCE, RI 02914	264 WARREN AVE
206-26-016-00	LOBO, KYLE	592 REED ST	SWANSEA, MA 02777	260 WARREN AVE
206-26-015-00	PEDRO, JOSE B &ROSSI, PEDRO, DEBRA L	74 MILBURN RD	East Providence, RI 02914	256-258 WARREN AVE
206-26-003-00	BROWN, JASON M &ANDREA F	29 OAKLEY ST	EAST PROVIDENCE, RI 02914	29 OAKLEY ST
206-26-001-00	SANTOS, ANGELITA P	14-16 S SHARON ST	EAST PROVIDENCE, RI 02914	14-16 S SHARON ST
206-26-002-00	GORMAN, ALEX DAVID & REINHARDT, HAYLEY MARIE	35 OAKLEY ST	E PROVIDENCE, RI 02914	35 OAKLEY ST
206-25-009-00	MILHO, ALBERTINO R &ZITA V	3 KETTLE PT AVE	E PROVIDENCE, RI 02914	286-288 WARREN AVE
206-30-009-00	RODRIGUES, JOSEPH A	271 WARREN AVE	East Providence, RI 02914	271 WARREN AVE
206-25-005-00	MILHO, ALBERTINO &ZITA	3 KETTLE PT AVE	East Providence, RI 02914	272 WARREN AVE
206-26-014-00	BAS SINGH LLC	254 WARREN AVE	EAST PROVIDENCE, RI 02914	254 WARREN AVE
206-26-018-00	SOUSA, MANUEL JR & DESOUSA, AGOSTINHO F	12 S SHARON ST	EAST PROVIDENCE, RI 02914	10-12 S SHARON ST
206-31-016-00	PORTUGUESE AMERICAN & ATHLETIC CLUB	281 WARREN AVE	E PROVIDENCE, RI 02914	0 WARREN AVE
206-31-001-00	PORTUGUESE AMERICAN & ATHLETIC CLUB	281 WARREN AVE	EAST PROVIDENCE, RI 02914	281 WARREN AVE
206-30-008-00	BROWN, MARIE	275 WARREN AVE	EAST PROVIDENCE, RI 02914	275 WARREN AVE
206-30-010-00	LEITE, VILSON B & JESSA MENDEZ	267 WARREN AVE	EAST PROVIDENCE, RI 02914	267 WARREN AVE
206-25-004-00	MILHO, ALBERTINO &ZITA	3 KETTLE PT AVE	E PROVIDENCE, RI 02914	41-43 OAKLEY ST



RADIUS MAP
41-43 Oakley Avenue
206-25-4

★ PARCELS WITHIN 200'
SELECTED PARCEL

