

### LANDSCAPE REQUIREMENTS:

CITY OF EAST PROVIDENCE, Chapter 19: Zoning  
Article IV, Division 10

**REQUIRED:**

Section 19-261 - Trash Storage Areas, Subsection (b)(2):  
[Trash] May be located in the required side or rear yards but not less than five feet from the property line and enclosed by a stockade fence or similar screening structure at least six feet in height...observed from the view of the adjacent property and from the street.

Article IV, Division 11

**REQUIRED:**

Section 19-283 - Plans, construction and maintenance of off-street parking areas, Subsection (e):  
...Where any parking area containing five parking spaces or more and located in a residential district adjoins or abuts a lot...used for residential purposes, a wall or fence of solid appearance or light evergreen hedge having a height of not less than five and one-half feet shall be erected and maintained...

Article IV, Division 11

**REQUIRED:**

Section 19-283 - Plans, construction and maintenance of off-street parking areas, Subsection (f):  
Any parking area...shall provide a minimum five foot wide planting strip between the parking area and the street. The planting strip...shall be planted with trees, shrubs, plants or other live vegetation.

**PROPOSED:**

Trash Enclosure will be enclosed by an opaque screen of at least six feet in height. Trash Enclosure location will also be screened by evergreen vegetation and existing buildings to obscure views from public roadways and abutting residences.

**PROPOSED:**

A solid fence of at least five and one-half feet exists along the north and west property lines abutting residential uses. In addition, there is an existing evergreen hedge along much of the west property line (on abutting property) and an existing evergreen hedge along the north property line, which is planned to be supplemented with additional evergreen tree plantings.

**PROPOSED:**

A greater than five-foot wide buffer strip, exclusive of curb cuts, is provided between the parking area and the abutting street. This planting strip is proposed to be planted with a mixture of live vegetation.

### CITY OF EAST PROVIDENCE, Land Development and Subdivision Review Regulations Article 16: Land Development Project and Development Plan Review Design Standards

**REQUIRED:**

Section 16-3 - Location and landscaping design standards, Subsection (c)(3)(a)  
[Shade Trees] Location. Shade trees shall be either planted or maintained at intervals of no more than 35 feet along...existing streets abutting a development site...

**REQUIRED:**

Section 16-3 - Development and landscaping design standards, Subsection (c)(4)(c1)  
[Buffering] [Minimum amount required] A five-foot buffer strip of grass or other vegetation is required around the entire perimeter of the site, except for any curb cuts.

**REQUIRED:**

Section 16-3 - Development and landscaping design standards, Subsection (c)(4)(c2)  
[Buffering] [Minimum amount required] Parking lots, garbage collection and utility areas...a buffer strip (25 feet) in width shall be required between such uses

**REQUIRED:**

Section 16-3 - Development and landscaping design standards, Subsection (c)(4)(c3)  
[Buffering] [Minimum amount required] Parking lots, garbage collection and utility areas, ... should be screened around their perimeters by a buffer strip a minimum of (five feet) wide

**REQUIRED:**

Section 16-3 - Development and landscaping design standards, Subsection (c)(4)(c4)  
[Buffering] [Minimum amount required]...a landscaped buffer area shall be provided along the property line abutting the higher-order street...a minimum of (25 feet wide)...

**REQUIRED:**

Section 16-3 - Development and landscaping design standards, Subsection (c)(5)(a)  
[Parking Area Landscaping Requirements] Trees shall be planted within the planting strip or in sidewalk areas as may be appropriate, at intervals of no more than 35 feet...

North Parking Area:  
Approximately 430 LF of Planting Strip divided by 35 = 12 Trees required

South Parking Area:  
Approximately 217 LF of Planting Strip divided by 35 = 6 Trees required

**REQUIRED:**

Section 16-3 - Development and landscaping design standards, Subsection (c)(5)(b)  
...In addition to the required buffer strip a minimum of ten square feet of landscaping or each parking space shall be provided within the interior of any off-street parking area...

35 Parking spaces x 10 SF = 350 SF of Landscaping Required

**REQUIRED:**

Section 16-3 - Development and landscaping design standards, Subsection (c)(5)(c)  
The interior of parking areas shall be shaded by deciduous trees...each tree shall be presumed to shade a circular area having a radius of 15 feet with the trunk as the center, and there must be sufficient trees so that using this standard, 20 percent of the parking area will be shaded.

Approximately 19,400 SF of Proposed Parking Area x .2 = 3,880 SF of Shading Required  
3 Trees x (115') x 70' SF = 2,310 SF  
19,400 SF x .20 = 3,880 SF  
3,880 SF / 70' = 5.5 or 6 Trees Required

**PROPOSED:**

Shade Trees are proposed to be planted along the existing street abutting the location (Wampanoag Trail), while being cognizant of proposed and existing utility locations, parking lot lighting and view lines to signage. Trees are proposed at intervals of no more than 35'

**PROPOSED:**

A five-foot buffer strip, exclusive of curb cuts, is provided where possible at the perimeter of the project site. Existing walkway and vehicular travel ways at east and west edge of the project site are approximately 2'-3' from the perimeter of the project site at their closest, however, a five foot minimum width planting strip is provided between any parking areas and any abutting properties or streets.

**PROPOSED:**

The subject property is a renovation of a past health care facility within a Residential Zone. The proposed use is residential and does not propose to increase intensity of use. Although existing edges of pavement for parking areas, travel ways, and walkways are closer than 25' from abutting residential and religious land uses, this project seeks to increase the buffer width where possible along the perimeter of the site and will improve the buffer to the existing parking, travel ways, and walkways with evergreen buffer vegetation to supplement existing solid privacy fencing and vegetation along the perimeter.

**PROPOSED:**

All Parking Lots, garbage collection and utility areas are screened by a buffer strip a minimum of five-feet in width.

**PROPOSED:**

A buffer a minimum of 25-feet, planted with both trees and shrubs is proposed along the property line of the subject property abutting the higher-order street (Wampanoag Trail).

**PROPOSED:**

Trees are proposed to be planted within the planting strip between proposed parking areas and abutting roadways or properties, where possible. Existing buildings, walkways, fencing, utilities, and required access ways (existing) limit plantings in certain areas. As such, this project proposes alternative spacing of trees, clustering them in plantable areas, in a quantity to meet the intent of the total required trees if 35' spacing were possible.

North Parking Area Perimeter Planting Strip: 12 New Deciduous Trees  
South Parking Area Perimeter Planting Strip: 7 New Deciduous Trees

**PROPOSED:**

Approximately 18,820 SF of Landscaping within and along the perimeter of proposed parking areas

**PROPOSED:**

19 New Deciduous Trees Proposed Within and around the immediate perimeter of proposed parking areas

REVISION HISTORY:

DATE	REVISION

- REFERENCES:
1. Plan Entitled: "PERMIT AGENCY REVIEW PLAN FOR "100 WAMPANOAG TRAIL: PROPOSED PLAN", Sheet 2 of 6; Owner/Applicant: Touchdown Realty Group, LLC; Prepared by: Commonwealth Engineers and Consultants, Inc.; Dated: 3/3/25, as amended.
  2. Site Observations Made By Kevin M. Alverson, LA on 2/10/25

# 100 Wampanoag Trail: Major Land Development Project

Map 408, Block 10, Parcel 24  
100 Wampanoag Trail  
East Providence, RI

Owner/Applicant:  
Touchdown Realty Group, LLC  
167 N. Quiddnessett Road  
North Kingstown, RI 02852

Contact:  
Tom and Kelly Clayton  
Phone: 703-597-1611  
Email: Contact@TouchdownRealtyGroup.com



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LANDSCAPE PLANTING ONLY

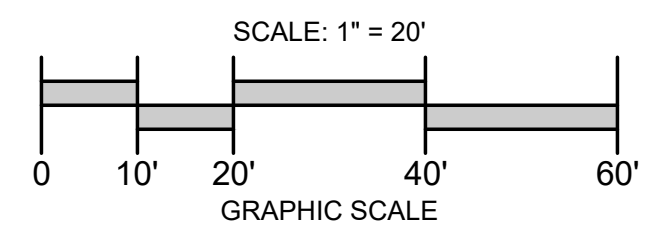
### PLANT SCHEDULE:

KEY	Scientific Name Common Name	QTY	Size Comment	Spacing
BN'DH'	Betula nigra 'BNMTF' DuraHeat Dura Heat River Birch	1	2.5" x 3" Cal. Standard	As Shown
CC	Cercis canadensis Eastern Redbud	4	2.5" x 3" Cal. Standard	As Shown
HA'A'	Hydrangea arborescens 'Abetwo' Incrediball Smooth Hydrangea	12	#3 (3 Gal.) Container	4.5' O.C.
IG'S'	Ilex glabra 'Shamrock' Shamrock Compact Inkberry	9	#3 (3 Gal.) Container	4.5' O.C.
JV	Juniperus virginiana Eastern Red Cedar	8	6" x 7" B&B	8' O.C.
LTA'	Liriodendron tulipifera 'Arnold' Arnold Columnar Tulip Tree	9	2.5" x 3" Cal. B&B	As Shown
NS'W'	Nyssa sylvatica 'Wildfire' Wildfire Tupelo	5	2.5" x 3" Cal. B&B	As Shown
PL'S'	Prunus laurocerasus 'Schipkaensis' Schipka Cherry Laurel	18	4" x 5" HT. Container	6.5' O.C.
PV'N'	Panicum virgatum 'Northwind' Northwind Upright Switchgrass	28	#1 (1 Gal.) Container	24" O.C.
RM	Rhododendron maximum Rosebay Rhododendron	6	4" HT. B&B	6.5' O.C.
TP'GG'	Thuja plicata 'Green Giant' Green Giant Western Red Cedar	12	7" x 8" B&B	8' O.C.

NOTES:  
1. SEE GENERAL LANDSCAPE NOTES AND REFERENCED ENGINEER'S PLANS.

### LEGEND

- LOT LINE
  - ABUTTER LINE
  - EXISTING CONTOUR
  - TEST HOLE
  - STONEWALL
  - PROPOSED CONTOUR
  - PROPOSED SPOT GRADE
  - DRAIN LINE
  - CATCH BASIN
  - WATER LINE
  - ELECTRIC LINE
  - WETLAND EDGE
  - 50' PERIMETER WETLAND
  - STREAM
  - 100' RIVERBANK WETLAND
  - 100-YEAR FLOOD PLAIN
  - EASEMENT LINE
  - BUILDING SETBACK LINE
  - COMPOST FILTER SOCK & LIMIT OF DISTURBANCE
  - RETAINING WALL
- APPROX. APPROXIMATE AREA SUBJECT TO STORM FLOW BASEMENT SLAB
- B.S. BULK HEAD
- B.H. BACK FLOW PREVENTER
- CO CLEAN OUT
- CB CATCH BASIN
- EL./ELEV. ELEVATION
- EX. EXISTING
- F.F. FINAL FLOOR
- GAL. GALLON
- G.S. GARAGE SLAB
- GSF GEOTEXTILE SAND FILTER
- MAX. MAXIMUM
- MIN. MINIMUM
- PRO. PROPOSED
- T.O.F. TOP OF FOUNDATION
- W.O. WALKOUT



Project #: 2.385.470

Scale: 1" = 20'

Drawn By: KMA

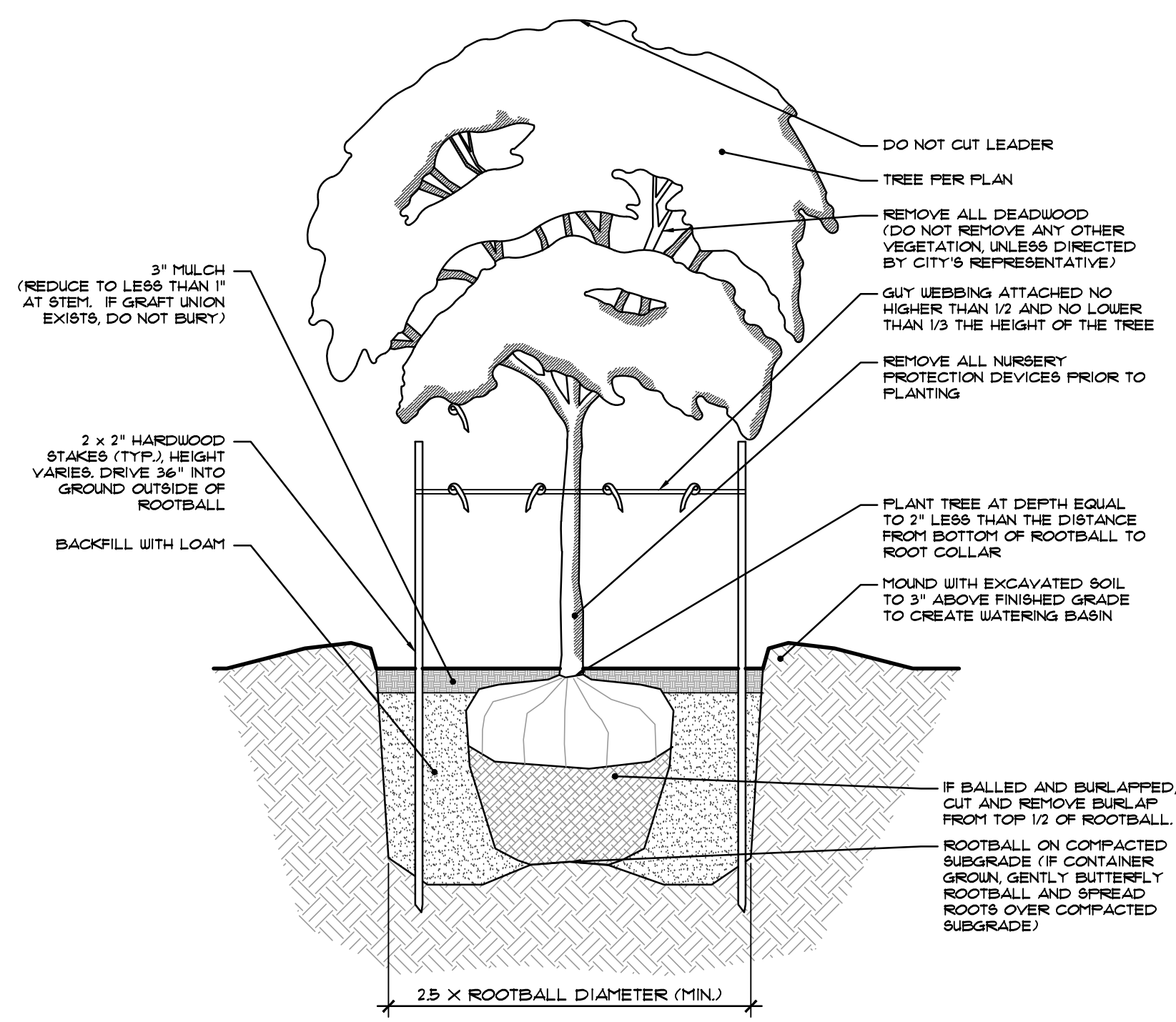
Checked By: KMA

Date: March 3, 2025

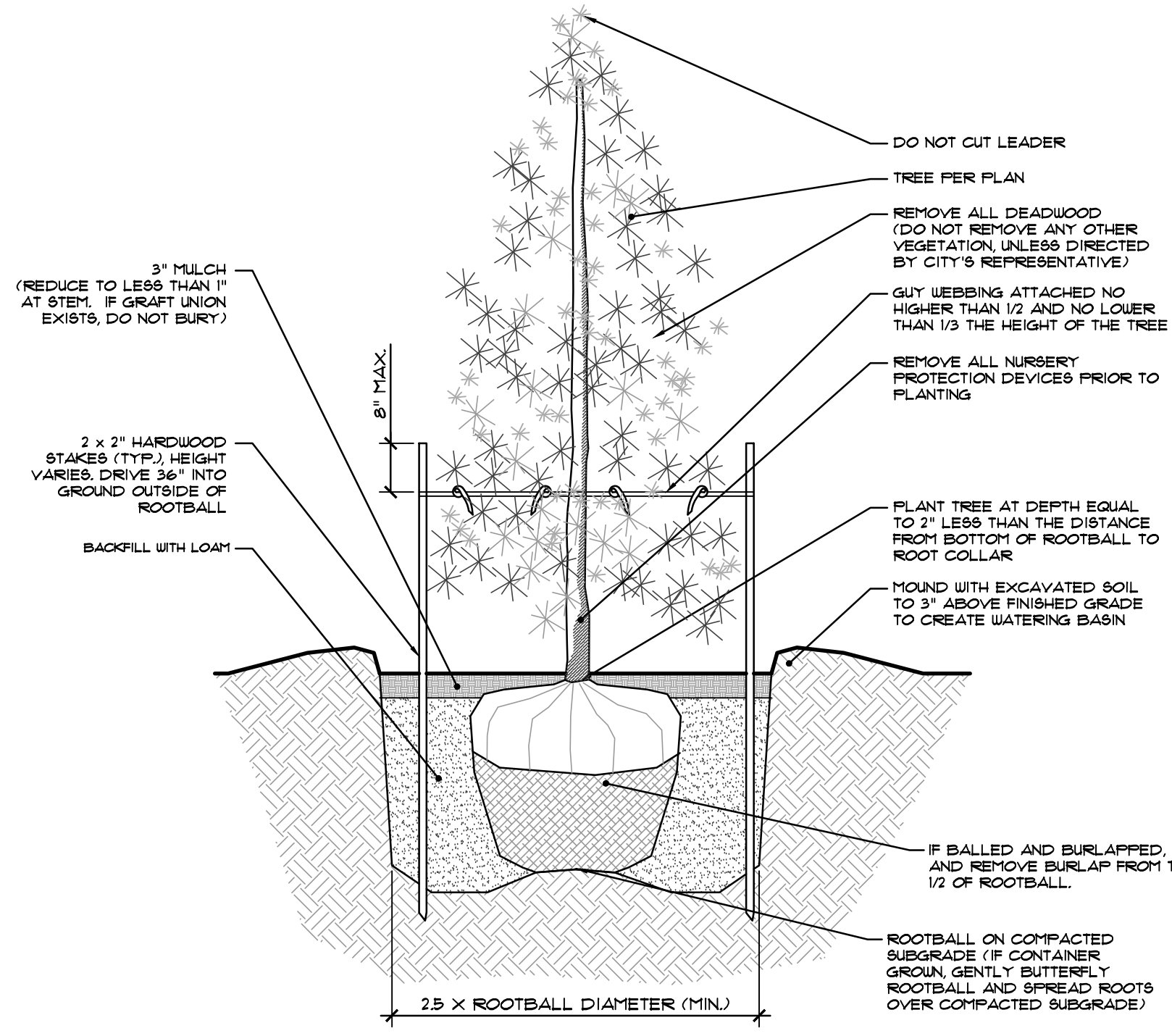
Sheet 1 of 2

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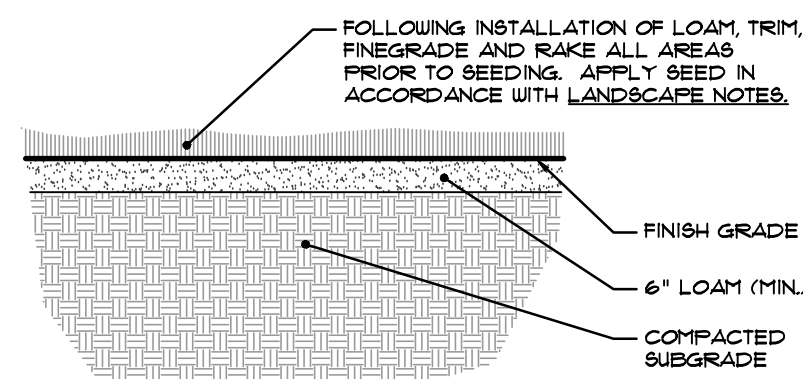
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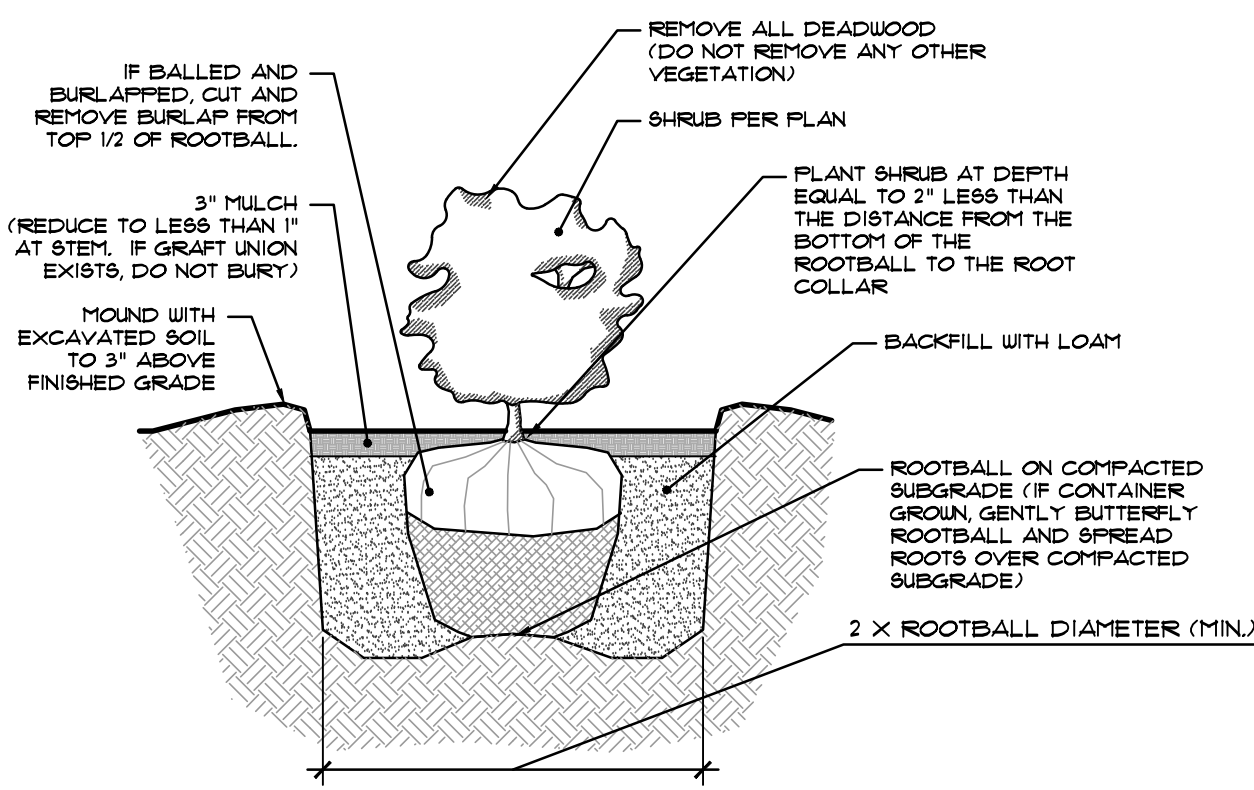
1 TREE PLANTING DETAIL NOT TO SCALE



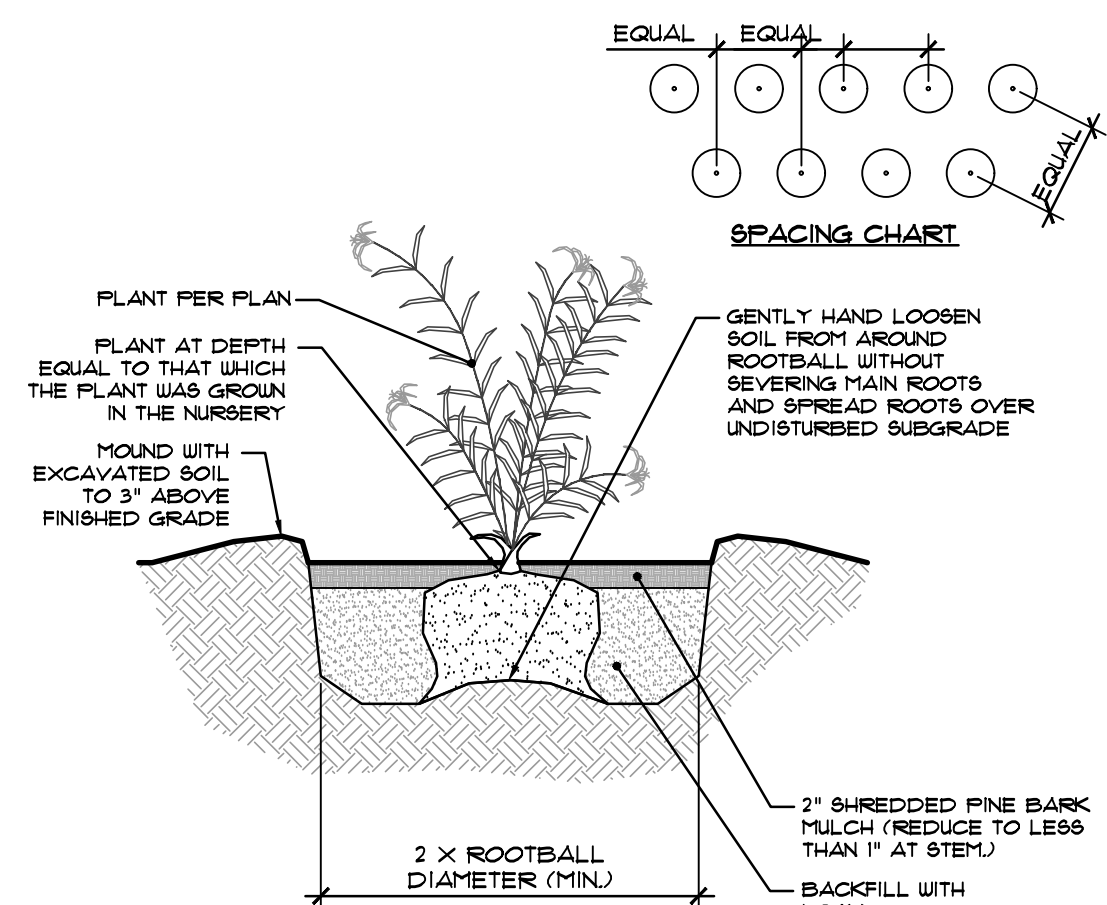
2 EVERGREEN PLANTING DETAIL NOT TO SCALE



3 LOAM AND SEED NOT TO SCALE



4 SHRUB PLANTING DETAIL NOT TO SCALE



5 PERENNIAL/GROUNDCOVER PLANTING DETAIL NOT TO SCALE

GENERAL NOTES:

- SEE ENGINEER'S PLANS FOR ALL SITE LAYOUT, GRADING, DRAINAGE, AND UTILITY DESIGNS (SEE REFERENCES).
- SEE ARCHITECT'S PLANS FOR ALL BUILDING DESIGN COMPONENTS.
- SITE LIGHTING TO BE DETERMINED WITH FINAL ARCHITECTURAL DESIGNS - SEE ARCHITECT'S PLANS. ALL SITE AND EXTERIOR BUILDING LIGHTING SHALL BE ADJUSTED AND/OR HAVE CUT-OFF TYPE FIXTURES TO PREVENT LIGHT SPILLOVER, DIRECT ILLUMINATION AWAY FROM ALL ADJUTING PROPERTIES, AND PREVENT CONFLICTS WITH EXISTING AND PROPOSED TREE LOCATIONS.
- ALL WORK AND MATERIALS SHALL BE IN CONFORMANCE WITH THE RHODE ISLAND STANDARD SPECIFICATIONS, AS AMENDED.
- THIS PLAN IS INTENDED TO BE AN ACCURATE GUIDELINE FOR LAYOUT AND SPECIFICATION OF LANDSCAPE PLANTINGS ONLY. CONTRACTOR SHALL VERIFY ACTUAL AS-BUILT ON-SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION PROCEDURES. FINAL ALIGNMENT OF ALL LANDSCAPE IMPROVEMENTS SHALL BE ADJUSTED ON-SITE AS NECESSARY TO AVOID CONFLICTS WITH OTHER PROPOSED SITE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO, UTILITY AND DRAINAGE DESIGN AND FINAL DESIGN/LAYOUT OF ROADWAYS, SIDEWALKS, AND PROPOSED STRUCTURES.
- UTILITIES ARE PLOTTED FROM BEST AVAILABLE INFORMATION AND SITE OBSERVATIONS. CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY CONTACTING DIG SAFE (888-DIG-SAFE (344-7233) or Dial 811), IN ACCORDANCE WITH THE LAWS OF THE STATE OF RI. CONTRACTOR SHALL PROTECT EXISTING UTILITIES DURING CONSTRUCTION. DAMAGE TO ANY ABOVE OR BELOW-GROUND UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OR HER OWN EXPENSE.
- ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR REUSE. DO NOT REMOVE LOAM FROM SITE UNLESS DIRECTED BY OWNER'S REPRESENTATIVE. IF DIRECTED BY OWNER'S REPRESENTATIVE, IT SHALL BE REMOVED OFFSITE TO AN APPROPRIATE FACILITY FOR FUTURE USE AS DIRECTED BY OWNER.
- ALL EXCESS SOILS, BOULDERS, STUMPS AND OTHER MATERIALS SHALL BE DISCARDED OFFSITE IN AN ACCEPTABLE MANNER TO ALL STATE, AND MUNICIPAL REGULATIONS. ALL MATERIALS THAT ARE REMOVED AND DISPOSED SHALL BE DONE SO IN A LEGAL MANNER AND FOLLOW THE SOIL EROSION CONTROL PLAN AT OWNER'S DIRECTION.
- CONTRACTOR TO PERFORM DAILY HOUSEKEEPING ON-SITE. CONTRACTOR SHALL SWEEP DAILY ANY TRACKING ONTO EXISTING PARKING AREA TO PREVENT FROM ENTERING THE DRAINAGE SYSTEM.
- ALL ITEMS NOT INDICATED FOR REMOVAL AND DISPOSAL SHALL BE PROTECTED BY CONTRACTOR DURING CONSTRUCTION. SHOULD DAMAGE OCCUR AS A RESULT OF CONSTRUCTION PROCEDURES, CONTRACTOR SHALL REPAIR SUCH DAMAGE AT HIS OR HER OWN EXPENSE. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE AND THE MUNICIPALITY IN WHICH WORK IS BEING PERFORMED PRIOR TO START OF ANY WORK.

LANDSCAPE NOTES:

- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, AND SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROJECT.
- THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN CONFORMANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE CURRENT PLANTING PROCEDURES ESTABLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL MEET THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN, STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND ITS AMENDMENTS. PLANT ONLY DURING SEASONS NORMAL TO THE PARTICULAR VARIETY.
- ALL PROPOSED PLANT MATERIAL SHALL BE AS SPECIFIED, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT. IN ABSOLUTELY NO CIRCUMSTANCE SHALL THERE BE ANY USE OF PLANTS LISTED ON THE RI INVASIVE SPECIES LIST FOR PLANTS AS PREPARED BY THE RHODE ISLAND NATURAL HISTORY SURVEY AND THE RHODE ISLAND INVASIVE SPECIES COUNCIL.
- ALL PLANTINGS SHALL BE SIZED IN ACCORDANCE WITH THE SIZES INDICATED ON THE PLANT SCHEDULE, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
- IT IS UNDERSTOOD THAT SPECIFIED PLANT VARIETIES, QUANTITIES, AND SIZES MAY BE SUBJECT TO AVAILABILITY AT TIME OF ORDERING AND INSTALLATION. ALL PLANT SUBSTITUTIONS AND/OR CHANGES IN PLANT LOCATION, QUANTITY, OR SIZE MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF IMMEDIATELY TO AN OFF-SITE LOCATION, UNLESS OTHERWISE INDICATED ON THE PLANS.
- MAINTENANCE AND WARRANTY:
  - ALL PLANTINGS SHALL BE MAINTAINED BY THE OWNER OR CONTRACTOR FROM THE TIME OF PLANTING UNTIL THE PLANTINGS ARE ESTABLISHED. MAINTENANCE DURING THIS PERIOD SHALL INCLUDE WATERING OF PLANTINGS AS NECESSARY TO ENSURE PROPER ESTABLISHMENT OF PLANTINGS. FOLLOWING ESTABLISHMENT OF PLANTINGS, OWNER SHALL MAINTAIN ALL LANDSCAPING THROUGHOUT THE PROJECT SITE FOR THE LIFE OF THE PROJECT.
  - CONTRACTOR SHALL PROVIDE A TWO (2) YEAR WARRANTY ON ALL NEW PLANTINGS. SHOULD NEW PLANT MATERIAL DIE (OR DECLINE TO THE POINT WHERE PLANT IS EXPECTED TO DIE) WITHIN THIS WARRANTY PERIOD (OTHER THAN DUE TO NATURAL FACTORS, NATURAL DISASTER, OR NEGLIGENCE), CONTRACTOR SHALL REMOVE THE PLANT AND REPLACE SAID PLANT MATERIAL WITH NEW PLANTINGS IN ACCORDANCE WITH THE SIZE AND VARIETY SPECIFIED. ALL REPLACEMENT PLANT MATERIAL SHALL CARRY A NEW TWO (2) YEAR WARRANTY STARTING FROM THE DATE OF REPLACEMENT. CONTRACTOR SHALL REMOVE ALL STAKES, GUY WIRES, AND TAPE FROM TREES AT THE END OF THE SPECIFIED WARRANTY PERIOD.
- FINAL LOCATIONS OF ALL NEW PLANTINGS SHALL BE ADJUSTED AS NECESSARY BASED ON FINAL AS-BUILT LOCATIONS OF ALL NEW AND EXISTING UTILITIES AND OTHER SITE IMPROVEMENTS.
- EXISTING VEGETATION PROTECTION LINE: WHEN APPLICABLE, PROTECTIVE BARRIERS ARE TO BE INSTALLED ALONG THE LIMIT OF DISTURBANCE ADJUTING EXISTING VEGETATION TO REMAIN (SEE ENGINEER'S PLANS). BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF-SUPPORTING. THEY SHALL BE A MINIMUM OF THREE-FOUR FEET (3-4) HIGH AND CONSTRUCTED OF A DURABLE MATERIAL, SUCH AS SNOW OR SILT FENCE, THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED. PRUNING OF ANY DAMAGED ROOTS SHALL BE DONE IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, UTILIZING ONLY CLEAN SHARP TOOLS - NO AXES TO BE USED FOR PRUNING. CARE SHALL BE TAKEN NOT TO DISPOSE OF PAINT OR ANY OTHER SOLVENTS THAT MAY CHANGE THE SOIL STRUCTURE IN OR AROUND THE ROOTZONE OF VEGETATION SPECIFIED TO REMAIN.
- FOLLOWING COMPLETION OF CONSTRUCTION PROCEDURES, ALL PROTECTION BARRIERS ARE TO BE REMOVED AND DISPOSED OF PROPERLY, OFF-SITE IN A LEGAL MANNER.
- LANDSCAPING AT BUILDING (FOUNDATION PLANTINGS): BUILDING WILL BE LANDSCAPED, WHERE POSSIBLE, INCLUDING FOUNDATION PLANTINGS WITHIN FRONT YARD SPACE. FINAL LANDSCAPING SHALL BE BY OWNER, BASED ON FINAL BUILDING DESIGN.
- LOAM AND COMPOST: ALL LOAM USED AS PLANTABLE SOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSIDIARY MATERIAL: STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH, CONSTRUCTION DEBRIS, OR OTHER OBJECTIONABLE MATERIAL. NEW PLANTING BEDS SHALL BE AMENDED WITH WELL-AGED COMPOST.
- COMPOST SHALL BE A WELL DECOMPOSED, STABLE, WEED FREE ORGANIC MATTER SOURCE. IT SHALL BE DERIVED FROM AGRICULTURAL WOODS, AND/OR YARD TRIMMINGS. THE PRODUCT SHALL CONTAIN NO SUBSTANCES TOXIC TO PLANTS AND SHALL BE REASONABLY FREE (LESS THAN 1 PERCENT BY DRY WEIGHT) OF MAN-MADE FOREIGN MATTER.
- WATERING: THOROUGHLY WATER ALL PLANTS WHEN 2/3 OF BACKFILL HAS BEEN PLACED TO ENSURE ALL AIR POCKETS ARE REMOVED. FIRMLY TAMP SOIL AROUND PLANT. ENSURE PROPER WATERING OF PLANT MATERIAL UNTIL ESTABLISHMENT (ONCE PER DAY FOR 14 DAYS FOLLOWING INSTALLATION & THEN 2 TIMES PER WEEK UNTIL DORMANCY FOR THE FIRST YEAR OF ESTABLISHMENT, OR AS NEEDED DEPENDING ON FREQUENCY AND QUANTITY OF NATURAL RAIN FALL). MONITOR SOIL MOISTURE WITHIN ROOTZONE OF PLANTINGS PRIOR TO AND FOLLOWING EACH WATERING PROCEDURE. DO NOT OVERWATER OR SATURATE ROOTZONE OF PLANTINGS FOR PROLONGED PERIOD OF TIME.
- PRUNING: ALL PLANTING MATERIAL SHALL BE PRUNED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND IN SUCH A MANNER AS TO MAINTAIN THE NATURAL FORM OF THE PLANT. PRUNING SHALL BE COMPLETED UTILIZING ONLY CLEAN SHARP TOOLS. USE OF AXES FOR PRUNING IS UNACCEPTABLE.
- PRUNE ALL PLANT MATERIAL TO REMOVE ANY DEADWOOD AND DAMAGED, CROSSING/RUBBING BRANCHES.
- MULCH: ALL PLANTINGS SHALL BE MULCHED AS INDICATED ON DETAIL DRAWINGS. PLANTINGS INSTALLED IN CLUSTERS, OR WITHIN PLANTING BEDS SHALL BE MULCHED AS SUCH, INSTALLING MULCH THROUGHOUT THE ENTIRE PLANTING BED. MULCH TO BE 2"-3", OR AS OTHERWISE NOTED, IN DEPTH AND REDUCED TO LESS THAN 1" AT ROOT FLARE OF EACH PLANT.
- STONE MULCH: ALL PLANTING BEDS ADJACENT TO BUILDING OR OTHER STRUCTURES SHALL BE MULCHED WITH STONE MULCH. STONE MULCH TO BE 1" MINUS AGGREGATE SIZE, ROUNDED, NATURAL STONE MULCH. PROVIDE SAMPLE FOR APPROVAL BY OWNER'S REPRESENTATIVE.
- BARK MULCH: ALL PLANTINGS NOT ADJACENT TO BUILDING OR OTHER STRUCTURES, INCLUDING SHADE TREE PLANTINGS AND BUFFER PLANTINGS AT THE SITE PERIMETER, SHALL BE MULCHED WITH BARK MULCH. BARK MULCH SHALL BE WELL-AGED, SHREDDED BARK MULCH, NATURAL DARK BROWN IN COLOR AND NON-DYED, OR AS APPROVED BY OWNER'S REPRESENTATIVE.
- LOAM AND SEED:
  - LOAM AND SEED ALL DISTURBED AREAS. ALL NEW LAWN AREAS SUBJECT TO EROSION SHALL BE STABILIZED UTILIZING JUTE MESH, EXCESSION BLANKET, OR APPROVED EQUAL.
  - LOAM UTILIZED FOR LAWN AREAS SHALL BE SANDY LOAM, 6" MIN. IN DEPTH, AND CONFORMING TO THE REQUIREMENTS OF THE USGA FOR LAWN PLANTINGS.
  - SEED MIX:
    - SEED MIX UTILIZED FOR LAWN AREAS SHALL BE SIMILAR TO 'Endophyte Enhanced Mix' AS AVAILABLE THROUGH ALLER'S SEED, EXETER, RI, OR EQUAL, DROUGHT TOLERANT, DEEP-ROOTING GRASS SEED, CONTAINING A MINIMUM OF 30% BY WEIGHT OF TURF-TYPE TALL FESCUE, SIMILAR TO THE FOLLOWING:  
30% Improved Perennial Rye, 30% Turf Type Tall Fescue, 30% Chewings Fescue, 10% Kentucky Bluegrass 98/85  
SEEDING RATE TO BE 5-7 LBS PER 1,000 SF (OR AS RECOMMENDED BY SEED MIX SUPPLIER)
    - IF UTILIZING SOD, SOD SHALL ALSO BE COMPRISED OF DROUGHT TOLERANT, DEEP-ROOTING TURF GRASS, CONTAINING TURF-TYPE TALL FESCUE, SIMILAR TO 'BLACK-BEAUTY' VARIETY SOD, AS AVAILABLE THROUGH SODCO, INC., EXETER, RI, OR EQUAL.
- IF INSTALLING SEED UTILIZING HYDROSEEDER DEVICE, PROVIDE HYDRO FIBER-MULCH AND STARTER FERTILIZER MIX.
- BROADCAST SEEDING, TOPDRESS WITH 2" STRAW MULCH OR HYDRO FIBER-MULCH AND STARTER FERTILIZER MIX (NO SEED), FOLLOWING SPREADING OF SEED.
- CONTRACTOR RESPONSIBILITIES FOLLOWING SEEDING PROCEDURES: CONTRACTOR IS RESPONSIBLE FOR PROPER WATERING, FERTILIZING, AND MAINTENANCE OF LAWN AREAS UNTIL ESTABLISHMENT AND APPROVAL AS DETERMINED BY OWNER'S REPRESENTATIVE.
- DURING THE TIME BETWEEN PLANTING AND APPROVAL, CONTRACTOR IS RESPONSIBLE FOR A MINIMUM OF TWO (2) CUTTINGS OF THE LAWN AREAS, REGARDLESS OF HOW QUICKLY TURF GROWS DURING THIS PERIOD, NO MORE THAN ONE-THIRD OF THE LEAF SHALL BE REMOVED IN ANY ONE MOWING.
  - MOWING HEIGHT FROM APRIL THROUGH MID-JUNE SHALL BE SET AT 2 1/2".
  - MOWING HEIGHT FROM MID-JUNE THROUGH EARLY SEPTEMBER SHALL BE SET AT 3 1/2".
  - MOWING HEIGHT FROM EARLY SEPTEMBER THROUGH MID-OCTOBER SHALL BE SET AT 2 1/2".
  - BETWEEN MID-OCTOBER AND DORMANCY, MOWING HEIGHT SHALL BE REDUCED INCREMENTALLY TO REACH A 1" HEIGHT DURING WINTER DORMANCY.

REVISION HISTORY:

DATE	REVISION

REFERENCES:

- Plan Entitled: "PERMIT AGENCY REVIEW PLAN FOR "100 WAMPANOAG TRAIL: PROPOSED PLAN", Sheet 2 of 6; Owner/Applicant: Touchdown Realty Group, LLC; Prepared by: Commonwealth Engineers and Consultants, Inc.; Dated: 3/3/25, as amended.
- Site Observations Made By Kevin M. Alverson, IA on 2/10/25

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100 Wampanoag Trail  
East Providence, RI

Owner/Applicant:  
Touchdown Realty Group, LLC  
167 N. Quiddnessett Road  
North Kingstown, RI 02852

Contact:  
Tom and Kelly Clayton  
Phone: 703-597-1611  
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LANDSCAPE PLANTING ONLY

Landscape Details and Notes

Project #: 2.385.470	Sheet 2 of 2
Scale: Not to Scale	L-2
Drawn By: KMA	
Checked By: KMA	
Date: March 3, 2025	ISSUED FOR PERMITTING