

# PERMIT AGENCY REVIEW PLAN

## FOR

### MAJOR LAND DEVELOPMENT PROJECT

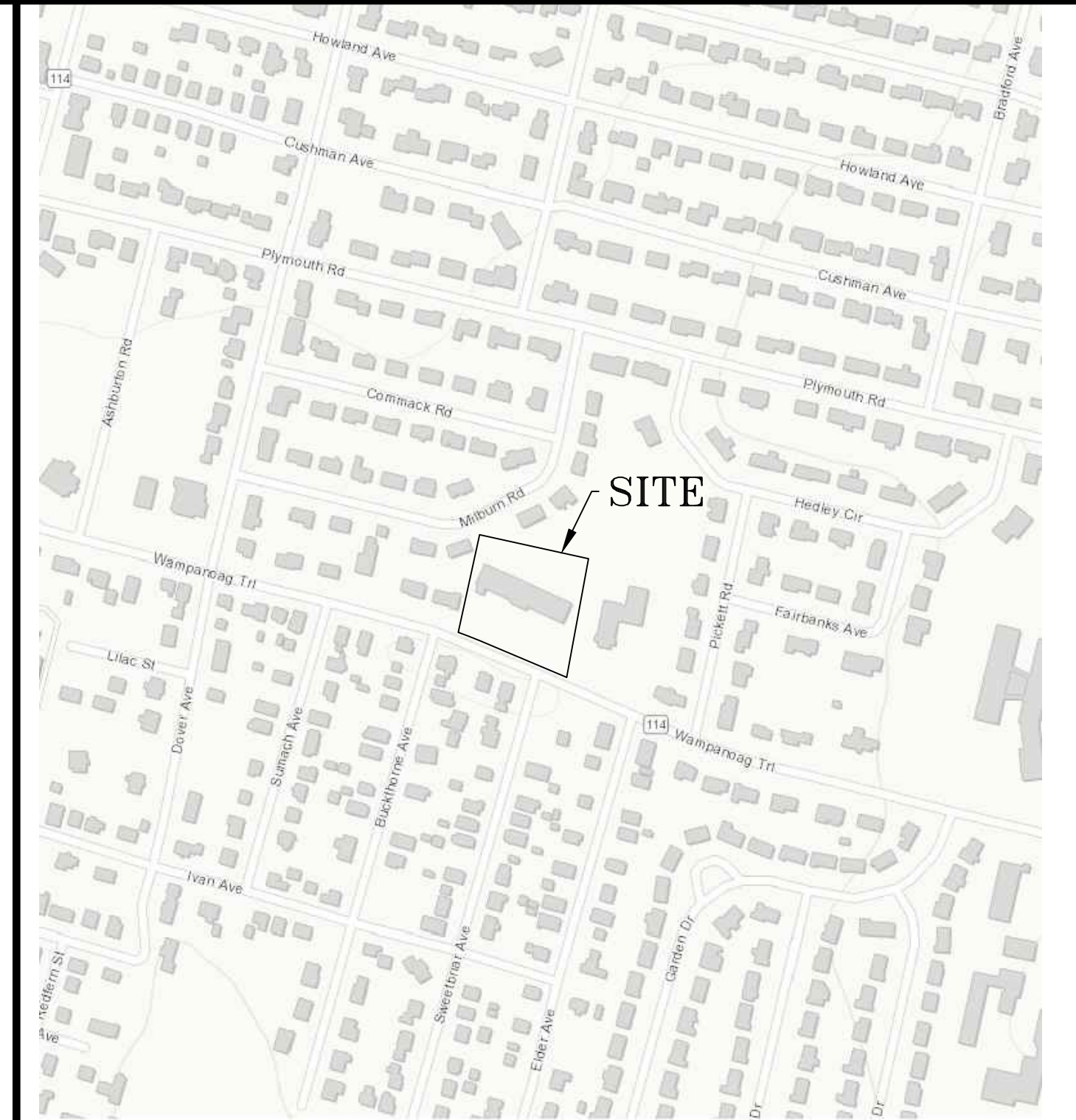
#### 100 WAMPANOAG TRAIL

#### MAP 408, BLOCK 10 PARCEL 24

#### WAMPANOAG TRAIL

in

#### EAST PROVIDENCE, RHODE ISLAND



LOCUS MAP

#### LIST OF DRAWINGS

1. TITLE SHEET
  2. EXISTING CONDITIONS/DEMO PLAN
  3. PROPOSED PLAN
  4. PROPOSED SOIL EROSION CONTROL PLAN-1
  5. PROPOSED SOIL EROSION CONTROL PLAN-2
  6. PROPOSED DETAILS-1
- SHEET 1 OF 1 SURVEY PLAN BY STATE LINE LAND SURVEYING

#### PROJECT DATA

SUBJECT PARCEL:  
 A.P. 408 BLOCK 10 PARCEL 24  
 BK 6709 PG 23  
 AREA = 65,397 S.F. (1.501 AC.)

ZONE: R-3

DIMENSIONAL REQUIREMENTS:	REQUIRED	PROVIDED
LOT AREA (MIN.)	40,000 SQ. FT.	65,397 SQ. FT.
LOT WIDTH	75 FEET	261± FEET
LOT DEPTH	100 FEET	250± FEET
FRONT YARD	25 FEET	79'-1"
SIDE YARD	20 FEET	15'-4"
REAR YARD	30 FEET	91'-8"
BLDG. LOT COVERAGE (MAX.)	25%	16.1%
IMPERVIOUS COVERAGE (MAX.)	45%	48.5% (EXISTING)
IMPERVIOUS COVERAGE (MAX.)	45%	45.8% (PROPOSED)
BUILDING HEIGHT (MAX.)	35 FEET	<35 FEET
BUILDING STORIES (MAX.)	2 STORY	2 STORY

#### UNITS PROPOSED:

STUDIO: 2 UNITS  
 1 BEDROOM: 22 UNITS  
 2 BEDROOM: 2 UNITS  
 TOTAL: 26 UNITS

#### LOT AREA CALCULATIONS:

STUDIO: 1,500 SF X 2 UNITS = 3,000 SF  
 1 BEDROOM: 1,500 SF X 22 UNITS = 33,000 SF  
 2 BEDROOM: 2,000 SF X 2 UNITS = 4,000 SF  
 TOTAL: 40,000 SF

#### PARKING CALCULATIONS:

REQUIRED PARKING:

2 SPACES/UNIT = 2 X 26 UNITS = 52 REQUIRED

PROPOSED PARKING:

35 SPACES PROVIDED (1/UNIT + 7 EXTRA)

#### IMPERVIOUS CALCULATIONS:

EXISTING IMPERVIOUS = 31,686 SQ. FT. (48.5%)  
 PROPOSED IMPERVIOUS = 29,926 SQ. FT. (45.8%)  
 REDUCTION IN IMPERVIOUS = 1,760 SQ. FT. (2.7%)

OWNER/APPLICANT  
**TOUCHDOWN REALTY GROUP, LLC**  
 167 N QUIDNESSETT ROAD  
 NORTH KINGSTOWN, RI 02852

CONTACT:  
 TOM & KELLY CLAYTON  
 PHONE: 703-597-1611  
 EMAIL: CONTACT@TOUCHDOWNREALTYGROUP.COM

#### STATE PERMITS:

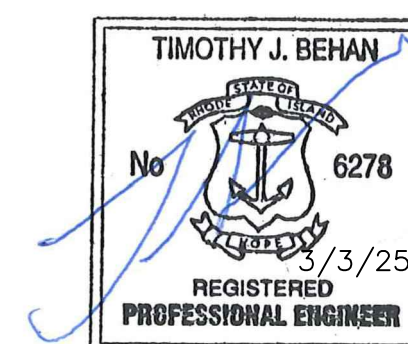
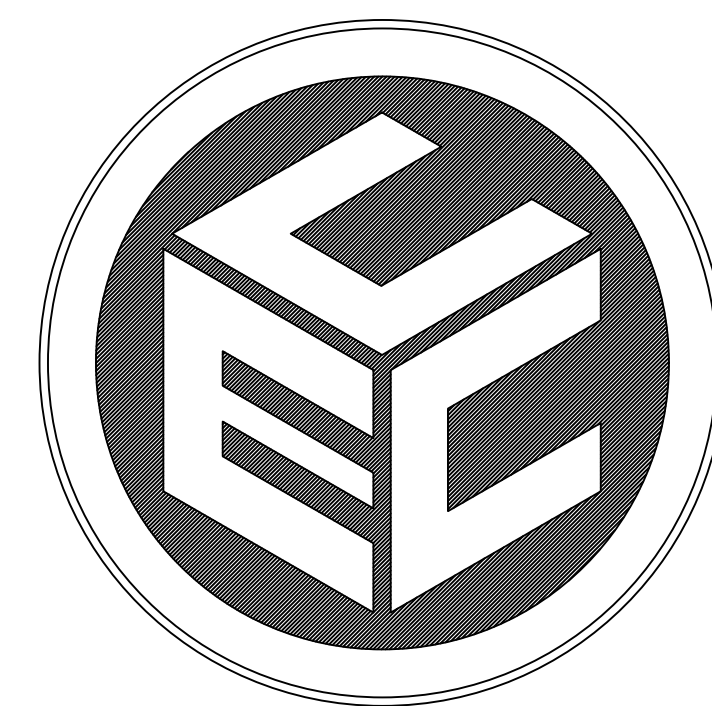
1. RIDOT PHYSICAL ALTERATION PERMIT (CHANGE OF USE)

#### LOCAL PERMITS:

1. MAJOR LAND DEVELOPMENT #2024-07-LDP, MASTER PLAN DECISION DATED NOV. 25, 2024, BK 12 PG 190.

#### NOTES:

1. THIS IS NOT A SURVEY BOUNDARY PLAN, REFER TO SURVEY PREPARED BY STATE LINE LAND SURVEYING IN THIS PLAN SET.
2. THE PARCEL IS SITUATED IN ZONE X PER FEMA MAP NUMBER 44007C0336H, EFFECTIVE 9/18/2013.
3. THE SUBJECT PARCEL IS SITUATED IN SOIL CATEGORY 'CB' CANTON URBAN AND 'PD' PAXTON URBAN. BOTH SOILS TYPICALLY HAVE SEASONAL HIGH GROUNDWATER TABLES 6 FEET AND GREATER AND DEPTH TO BEDROCK 5 FEET AND GREATER AS INDICATED IN THE SOIL SURVEY OF RHODE ISLAND.
4. THERE ARE NO WETLANDS WITHIN 200 FEET OF SUBJECT PARCEL. REFER TO LETTER DATED OCTOBER 3, 2024 PREPARED BY AVIZINIS ENVIRONMENTAL SERVICES, INC.
5. ALL UTILITY LOCATIONS ARE APPROXIMATE BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CONTACT DIGSAFE PRIOR TO CONSTRUCTION AND SHALL LOCATE UTILITIES PRIOR TO CONSTRUCTION.



PREPARED BY:  
**COMMONWEALTH**  
 ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET  
 PROVIDENCE, RHODE ISLAND 02908  
 (401) 273-6600

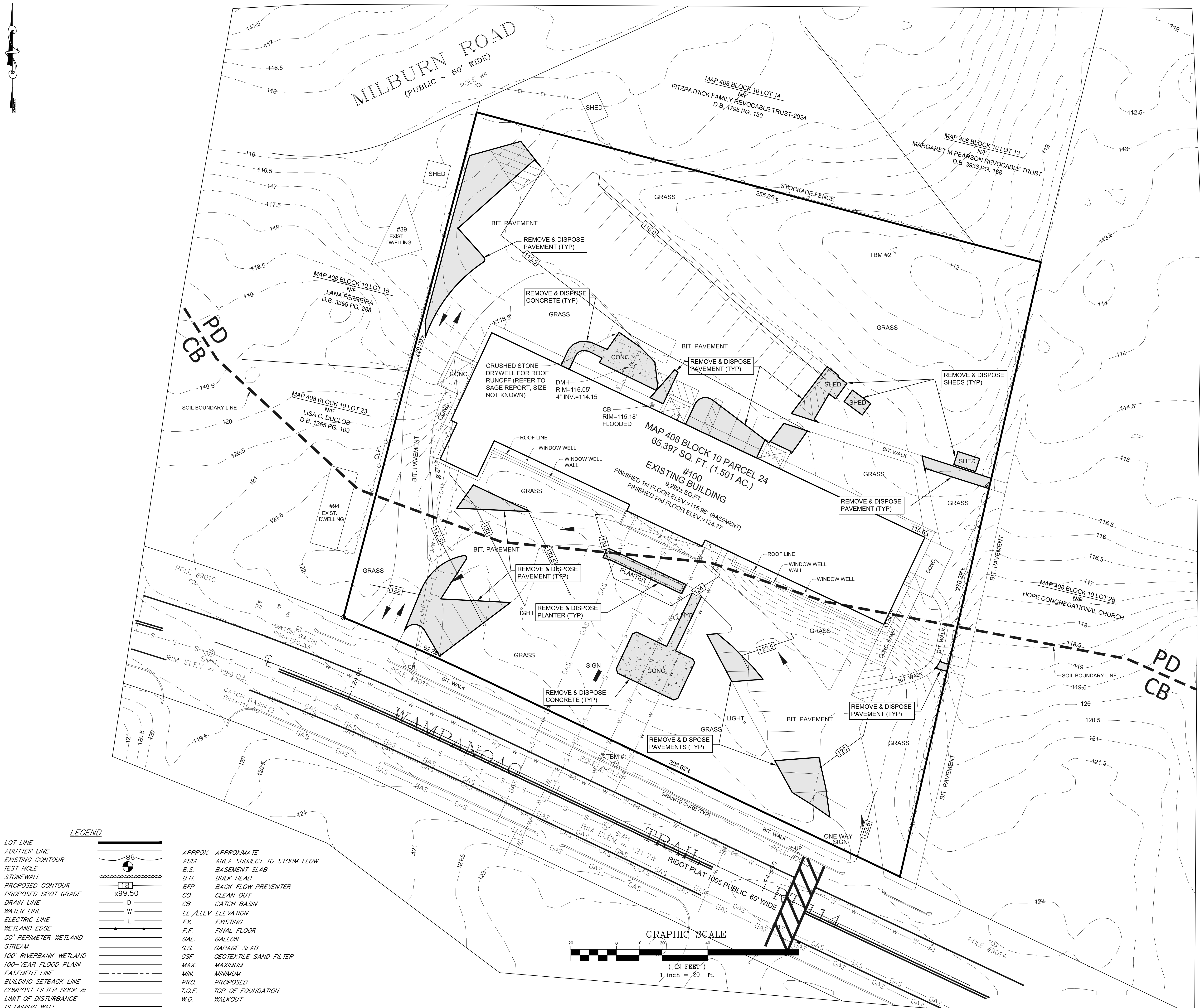
JANUARY 26, 2025

LEGEND			
LOT LINE	———	APPROX. APPROXIMATE	———
ABUTTER LINE	———	ASSF AREA SUBJECT TO STORM FLOW	———
EXISTING CONTOUR	~ ~ ~ ~	B.S. BASEMENT SLAB	———
TEST HOLE	⊕	B.H. BULK HEAD	———
STONEWALL	⊖	CB CATCH BASIN	———
PROPOSED CONTOUR	[18]	EL./ELEV. ELEVATION	———
PROPOSED SPOT GRADE	x99.50	EX. EXISTING	———
DRAIN LINE	D	F.F. FINAL FLOOR	———
SEWER LINE	S	GAL. GALLON	———
WATER LINE	W	G.S. GARAGE SLAB	———
ELECTRIC LINE	E	GSF GEOTEXTILE SAND FILTER	———
WETLAND EDGE	▲	MAX. MAXIMUM	———
50' PERIMETER WETLAND	———	MIN. MINIMUM	———
STREAM	———	PRO. PROPOSED	———
100' RIVERBANK WETLAND	———	T.O.F. TOP OF FOUNDATION	———
100-YEAR FLOOD PLAIN	———	W.O. WALKOUT	———
EASEMENT LINE	———		
BUILDING SETBACK LINE	———		
RETAINING WALL	———		

#### DRAWING ISSUE:

- CONCEPT
  - CUSTOMER APPROVAL
  - PERMITTING
  - CONSTRUCTION
  - AS-BUILT
  - OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION





**PROJECT DATA**

**SUBJECT PARCEL:**  
 A.P. 408 BLOCK 10 PARCEL 24  
 BK 6709 PG. 23  
 AREA = 65,397 S.F. (1.501 AC.)

**ZONE:** R-3

DIMENSIONAL REQUIREMENTS:	REQUIRED
LOT AREA (MIN.)	40,000 SQ. FT.
LOT WIDTH	75 FEET
LOT DEPTH	100 FEET
FRONT YARD	25 FEET
SIDE YARD	20 FEET
REAR YARD	30 FEET
BLDG. LOT COVERAGE (MAX.)	25%
IMPERVIOUS COVERAGE (MAX.)	45%
IMPERVIOUS COVERAGE (MAX.)	45%
BUILDING HEIGHT (MAX.)	35 FEET
BUILDING STORIES (MAX.)	2 STORY

**NOTES:**

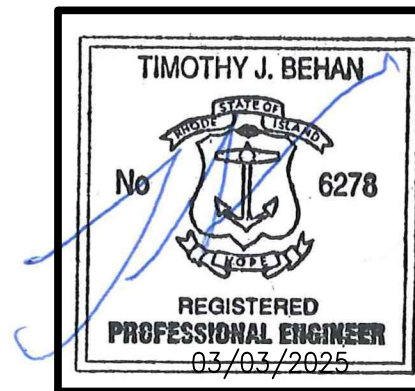
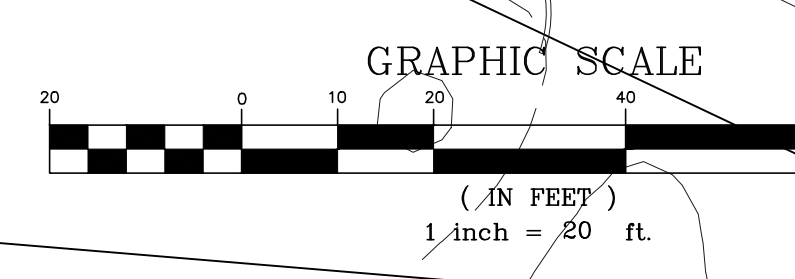
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- THERE ARE NO WETLANDS WITHIN 200 FEET OF SUBJECT PARCEL. REFER TO LETTER DATED OCTOBER 3, 2024 PREPARED BY AVIZINIS ENVIRONMENTAL SERVICES, INC.
- TEMPORARY BENCHMARKS:  
 TBM#1 NAIL SET AT BASE OF POLE 9012 ELEV. 122.42'  
 TBM#2 NAIL SET AT BASE OF LARGE EVERGREEN TREE ELEV. 114.29'
- ALL UTILITY LOCATIONS ARE APPROXIMATE BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CONTACT DIGSAFE PRIOR TO CONSTRUCTION AND SHALL LOCATE UTILITIES PRIOR TO CONSTRUCTION.
- ELEVATIONS ARE BASED ON NAVD 88 AND TAKEN FROM NOAA LIDAR 2022 SERIES.
- RUNOFF FROM THE ROOF DISCHARGES INTO A SUBSURFACE INFILTRATION SYSTEM AKA 'DRYWELL'. THE SIZE OF THE SYSTEM AND EXACT LOCATION IS NOT KNOWN BUT THE CRUSHED STONE DRYWELL STARTS ABOUT 6 FEET NORTH OF THE DRAIN MANHOLE. REFER TO SAGE ENVIRONMENTAL, INC. REPORT DATED NOVEMBER 25, 2024.

**OWNER/APPLICANT**  
 TOUCHDOWN REALTY GROUP, LLC  
 167 N QUINNESSETT ROAD  
 NORTH KINGSTOWN, RI 02852

**CONTACT:**  
 TOM & KELLY CLAYTON  
 PHONE: 703-597-1611  
 EMAIL: CONTACT@TOUCHDOWNREALTYGROUP.COM

**LEGEND**

LOT LINE	---	APPROX. APPROXIMATE	
ABUTTING LINE	---	ASSF AREA SUBJECT TO STORM FLOW	
EXISTING CONTOUR	---	B.S. BASEMENT SLAB	
TEST HOLE	⊙	B.H. BULK HEAD	
STONEWALL	⊞	BFP BACK FLOW PREVENTER	
PROPOSED CONTOUR	---	CO CLEAN OUT	
PROPOSED SPOT GRADE	x99.50	CB CATCH BASIN	
DRAIN LINE	D	EL./ELEV. ELEVATION	
WATER LINE	W	EX. EXISTING	
ELECTRIC LINE	E	F.F. FINAL FLOOR	
WETLAND EDGE	---	GAL. GALLON	
50' PERIMETER WETLAND	---	G.S. GARAGE SLAB	
STREAM	---	GSF GEOTEXTILE SAND FILTER	
100' RIVERBANK WETLAND	---	MAX. MAXIMUM	
100-YEAR FLOOD PLAIN	---	MIN. MINIMUM	
EASEMENT LINE	---	PRO. PROPOSED	
BUILDING SETBACK LINE	---	T.O.F. TOP OF FOUNDATION	
COMPOST FILTER SOCK & LIMIT OF DISTURBANCE	---	W.O. WALKOUT	
RETAINING WALL	---		



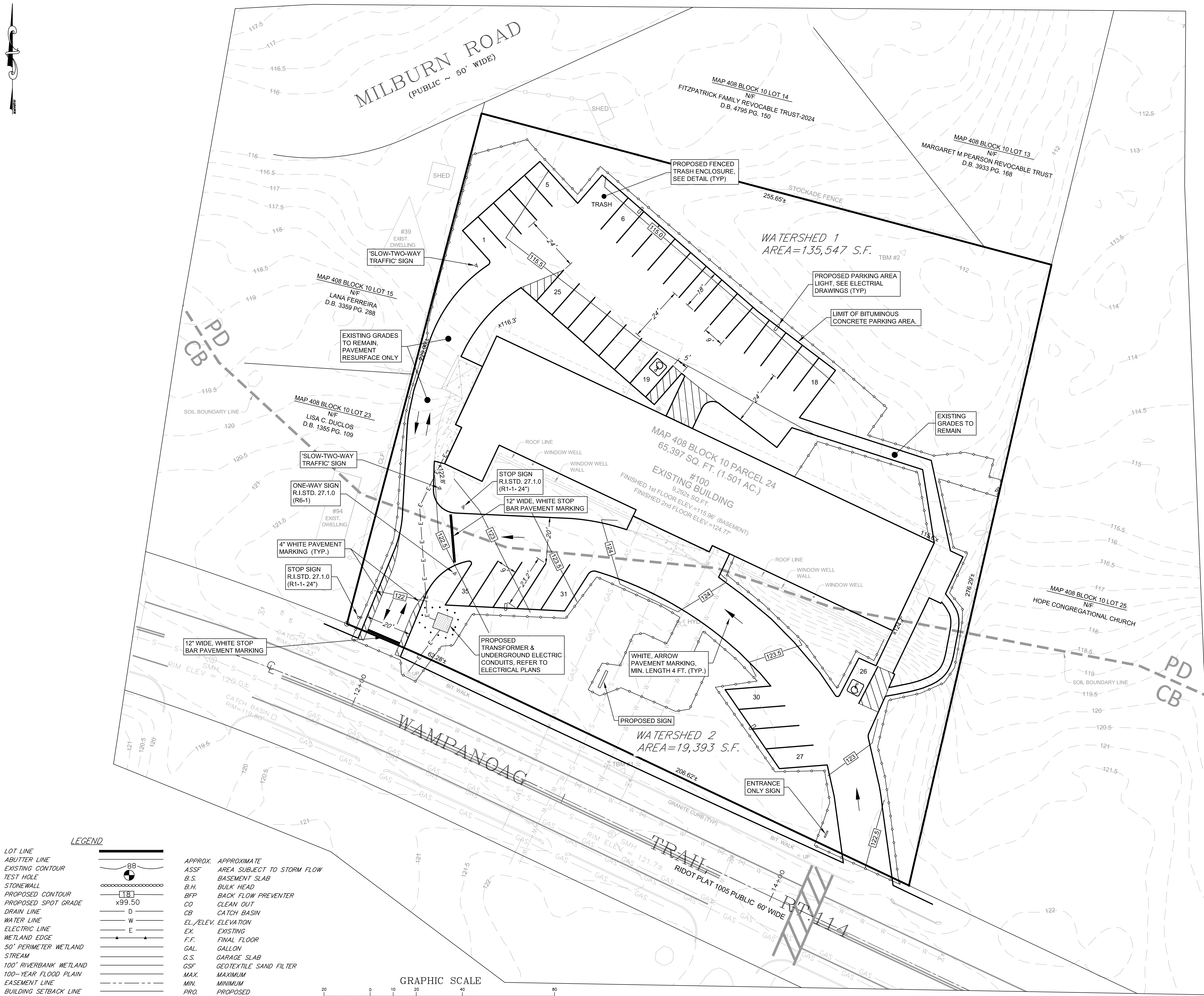
**REVISIONS**

No.	DATE	DRWN	CHKD

**PERMIT AGENCY REVIEW PLAN**  
 FOR  
 "100 WAMPANOAG TRAIL"  
 ON  
 MAP 408, BLOCK 10 PARCEL 24  
 WAMPANOAG TRAIL  
 EAST PROVIDENCE, RHODE ISLAND  
**EXISTING CONDITIONS/DEMO PLAN**

SCALE: AS SHOWN	SHEET NO: 2 OF 6
DRAWN BY: TJB	DESIGN BY: TJB
DATE: MARCH 3, 2025	CHECKED BY: TJB
	PROJECT NO 24092.00





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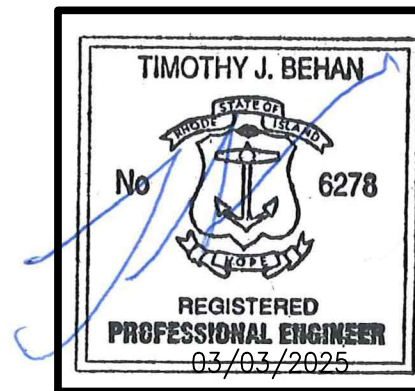
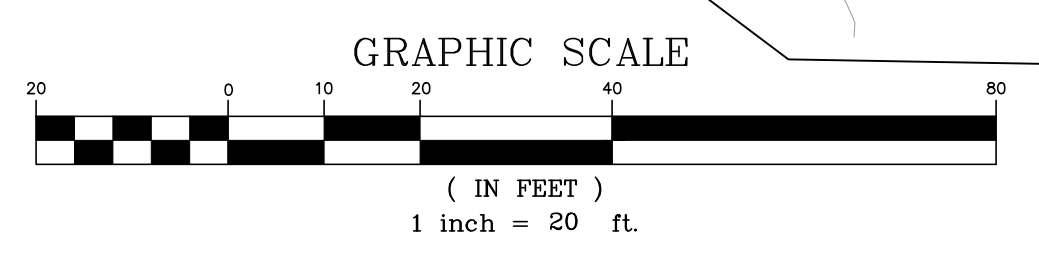
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**LEGEND**

LOT LINE	---
ABUTTER LINE	---
EXISTING CONTOUR	~ ~ ~
TEST HOLE	⊙
STONEWALL	⊓
PROPOSED CONTOUR	~ ~ ~
PROPOSED SPOT GRADE	x99.50
DRAIN LINE	D
WATER LINE	W
ELECTRIC LINE	E
WETLAND EDGE	—
50' PERIMETER WETLAND STREAM	—
100' RIVERBANK WETLAND	—
100-YEAR FLOOD PLAIN	—
EASEMENT LINE	---
BUILDING SETBACK LINE	---
COMPOST FILTER SOCK & LIMIT OF DISTURBANCE	---
RETAINING WALL	---

APPROX.	APPROXIMATE
ASSF	AREA SUBJECT TO STORM FLOW
B.S.	BASEMENT SLAB
B.H.	BULK HEAD
BFP	BACK FLOW PREVENTER
CO	CLEAN OUT
CB	CATCH BASIN
EL./ELEV.	ELEVATION
EX.	EXISTING
F.F.	FINAL FLOOR
GAL.	GALLON
G.S.	GARAGE SLAB
GSF	GEOTEXTILE SAND FILTER
MAX.	MAXIMUM
MIN.	MINIMUM
PRO.	PROPOSED
T.O.F.	TOP OF FOUNDATION
W.O.	WALKOUT



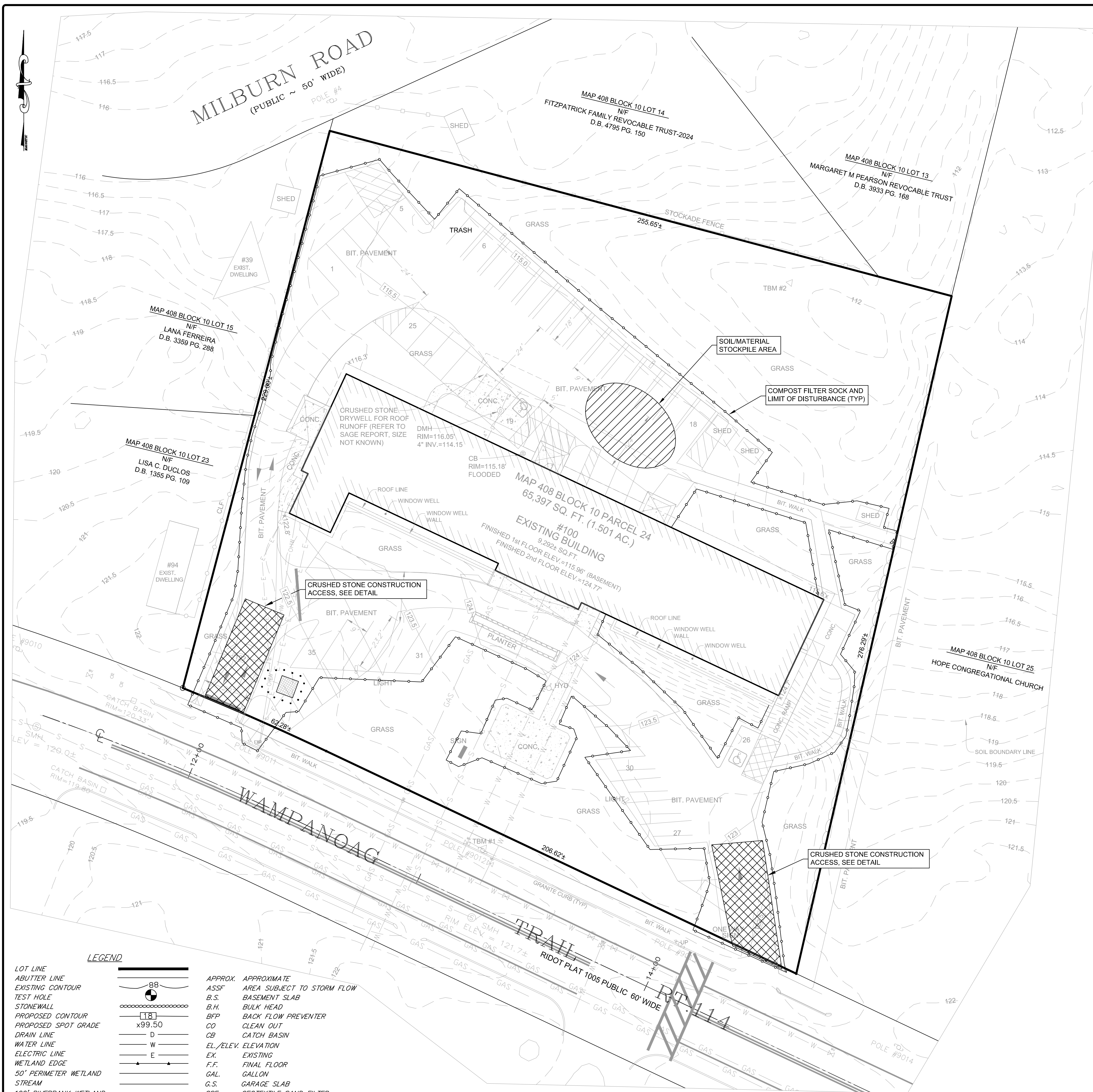
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No.	DATE	DRWN	CHKD

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 FOR  
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 ON  
 MAP 408, BLOCK 10 PARCEL 24  
 WAMPANOAG TRAIL  
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**PROPOSED PLAN**

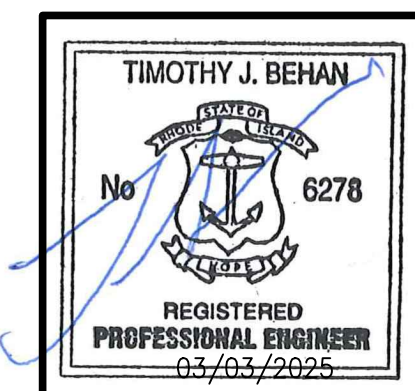
SCALE: AS SHOWN	SHEET NO: 2 OF 6
DRAWN BY: TJB	DESIGN BY: TJB
DATE: MARCH 3, 2025	CHECKED BY: TJB
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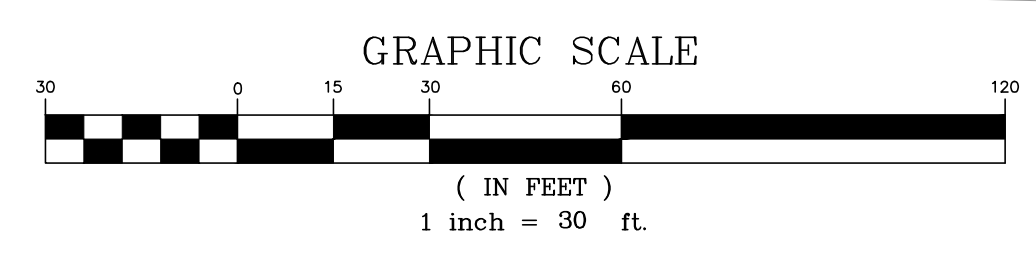


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PERMIT AGENCY REVIEW PLAN  
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 WAMPANOAG TRAIL  
 EAST PROVIDENCE, RHODE ISLAND  
**SOIL EROSION CONTROL PLAN-1**

SCALE: AS SHOWN SHEET NO: 4 OF 6  
 DRAWN BY: TJB DESIGN BY: TJB CHECKED BY: TJB  
 DATE: MARCH 3, 2025 PROJECT NO 24092.00

LEGEND	
LOT LINE	---
ABUTTER LINE	---
EXISTING CONTOUR	---
TEST HOLE	⊙
STONEWALL	—
PROPOSED CONTOUR	---
PROPOSED SPOT GRADE	x99.50
DRAIN LINE	D
WATER LINE	W
ELECTRIC LINE	E
WETLAND EDGE	—
50' PERIMETER WETLAND	—
STREAM	—
100' RIVERBANK WETLAND	—
100-YEAR FLOOD PLAIN	—
EASEMENT LINE	---
BUILDING SETBACK LINE	---
COMPOST FILTER SOCK & LIMIT OF DISTURBANCE	LOD
RETAINING WALL	---
APPROX. APPROXIMATE	---
ASSF AREA SUBJECT TO STORM FLOW	---
B.S. BASEMENT SLAB	---
B.H. BULK HEAD	---
BFP BACK FLOW PREVENTER	---
CO CLEAN OUT	---
CB CATCH BASIN	---
EL./ELEV. ELEVATION	---
EK. EXISTING	---
F.F. FINAL FLOOR	---
GAL. GALLON	---
G.S. GARAGE SLAB	---
GSF GEOTEXTILE SAND FILTER	---
MAX. MAXIMUM	---
MIN. MINIMUM	---
PRO. PROPOSED	---
T.O.F. TOP OF FOUNDATION	---
W.O. WALKOUT	---



- DRAWING ISSUE:
- CONCEPT
  - CUSTOMER APPROVAL
  - PERMITTING
  - CONSTRUCTION
  - AS-BUILT
  - OTHER:
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## GENERAL NOTES

- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND THE MUNICIPALITY PRIOR TO COMMENCING ANY WORK.
- IT SHALL ALSO BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES, AND ABUTTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.
- ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE "R.I. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST REVISION" WITH ALL CORRECTIONS AND ADDENDA AND THE R.I. STANDARD DETAILS WITH ALL CORRECTIONS AND ADDENDA AND THE LOCAL MUNICIPALITY'S STANDARD SPECIFICATIONS AND DETAILS.
- EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND SEEDED, SEE EROSION CONTROL PROGRAM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
- THE LOCATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. "DIG SAFE" SHALL BE CONTACTED BY THE CONTRACTOR AS PART OF THIS VERIFICATION.
- IN ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202, AS AMENDED.
- ALL EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS, AND OTHER REFUSE SHALL BE DISCARDED OFF SITE, IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

## EROSION CONTROL & SOIL STABILIZATION PROGRAM:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND PROCEDURES SET FORTH IN THE TOWN SUBDIVISION REGULATIONS AND ZONING ORDINANCES; RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, AS AMENDED AS PREPARED BY THE RIDEM AND GRMC; AND RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK AS PREPARED BY THE US DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1989, (AS REVISED).
- ALL RHODE ISLAND STANDARD DETAILS FOR CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION 2004 EDITION AND ALL ADDENDUMS.
- INFILTRATION PRACTICES, IF APPLICABLE, SHALL NEVER SERVE AS A SEDIMENT CONTROL DEVICE DURING SITE CONSTRUCTION PHASE. GREAT CARE MUST BE TAKEN TO PREVENT ANY INFILTRATION AREA FROM COMPACTION BY MARKING OFF THE LOCATION BEFORE THE START OF CONSTRUCTION AT THE SITE AND CONSTRUCTING THE INFILTRATION PRACTICE LAST, CONNECTING UPSTREAM DRAINAGE AREAS ONLY AFTER CONSTRUCTION IS COMPLETE, AND THE CONTRIBUTING AREA IS STABILIZED. THE CONTRACTOR SHALL SUBMIT A PLAN TO THE TOWN (FOR APPROVAL) HOW SEDIMENT WILL BE PREVENTED FROM ENTERING THE SITE OF AN INFILTRATION FACILITY.
- EXTREME CARE SHALL BE EXERCISED AS TO PREVENT ANY MATERIALS FROM ENTERING WETLANDS, THE ROADWAYS, ROADWAY DRAINAGE SYSTEMS, AND ADJACENT PROPERTY.
- COMPOST FILTER BERM, COMPOST FILTER SOCK, STRAW BALES OR SILT FENCE SHALL BE INSTALLED WHERE SHOWN ON THE PLAN AND AS REQUIRED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTIES, WETLANDS AND THE ROADWAY DRAINAGE SYSTEM.
- DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR MORE THAN 2 WEEKS OF TIME OR FOR THE INACTIVE WINTER SEASON.
- NO UNDISTURBED AREAS SHALL BE CLEARED OF EXISTING VEGETATION AFTER OCTOBER 15 OF ANY CALENDAR YEAR OR DURING ANY PERIOD OF FULL OR LIMITED WINTER SHUTDOWN. ALL DISTURBED SOILS EXPOSED PRIOR TO OCTOBER 15 OF ANY CALENDAR YEAR SHALL BE SEEDED OR PROTECTED BY THAT DATE. ANY SUCH AREAS THAT DO NOT HAVE ADEQUATE VEGETATIVE STABILIZATION, AS DETERMINED BY THE RESIDENT ENGINEER OR ENVIRONMENTAL INSPECTOR, BY NOVEMBER 15 OF ANY CALENDAR YEAR, MUST BE STABILIZED THROUGH THE USE OF EROSION CONTROL MATTING OR STRAW MULCH, IN ACCORDANCE WITH SPECIFICATIONS CONTAINED WITHIN THE R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK. IF WORK CONTINUES WITHIN ANY OF THESE AREAS DURING THE PERIOD FROM OCTOBER 15 THROUGH APRIL 15, CARE MUST BE TAKEN TO ENSURE THAT ONLY THE AREA REQUIRED FOR THAT DAY'S WORK IS EXPOSED, AND ALL ERODIBLE SOIL MUST BE RESTABILIZED WITHIN 5 WORKING DAYS. ANY WORK TO CORRECT PROBLEMS RESULTING FROM FAILURE TO COMPLY WITH THIS PROVISION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THERE WILL BE NO SEPARATE PAYMENT FOR THIS PROVISION, IT SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION OPERATIONS. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 2 WEEKS OF FINAL GRADING.

PREPARE TEMPORARY SEEDING AREA, PROVIDE AND PLANT SEED IN ACCORDANCE WITH 'TEMPORARY VEGETATIVE COVER' AS DESCRIBED IN THE 'RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK' AS PREPARED BY THE US DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1989, (AS REVISED).

SEED MIX:  
ANNUAL RYE GRASS 1.5 LBS/1,000 SQ. FT.

- TEMPORARY TREATMENTS TO STABILIZE EXPOSED SOILS SHALL CONSIST OF COMPOST FILTER BERM, STRAW OR FIBER MULCH OR PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK WHEN SOILS ARE EXPOSED FOR TWO WEEKS OR MORE OR AS ORDERED BY THE TOWN, ENGINEER OR OWNER AT NO ADDITIONAL COST.
- STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
- ALL NEW COMPOST FILTER BERM OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED.
- STOCKPILES SHALL HAVE NO SLOPE GREATER THAN 2:1 AND SHALL BE SURROUNDED BY COMPOST FILTER BERM, COMPOST FILTER SOCK OR SILT FENCE. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS OF TIME SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF PLANTING ANNUAL RYE GRASS OR PROTECTING WITH STRAW OR FIBER MATTING.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
- ADDITIONAL COMPOST FILTER BERMS OR OTHER TREATMENTS SHALL BE PROVIDED AS DIRECTED BY ENGINEER, RIDEM OR LOCAL REPRESENTATIVES AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL INSPECT THE SOIL EROSION CONTROL DEVICES AFTER EVERY RAIN STORM EVENT AND EVERY 7 DAYS (WHICH EVER COMES FIRST). ANY SOIL MIGRATION PAST THE DEVICES SHALL BE REMOVED AND THE SOIL EROSION CONTROL DEVICES SHALL BE RE-ESTABLISHED TO PREVENT SOIL EROSION. ALL ACCUMULATED SEDIMENT IN FRONT OF THE DEVICES SHALL BE REMOVED AFTER EVERY RAIN STORM EVENT.
- ALL DISTURBED SOIL AREAS SHALL BE PROTECTED AGAINST SOIL EROSION BY PLACEMENT OF COMPOST FILTER BERMS, COMPOST FILTER SOCKS AND/OR SILT FENCE ON THE DOWN GRADIENT SIDE OF THE DISTURBED AREA(S). SHOULD THE VOLUME AND/OR RATE OF STORMWATER RUNOFF BE TOO GREAT FOR A SINGLE DEVICE, THEN MULTIPLE DEVICES ARE REQUIRED SUCH AS SILT FENCE BACKED-UP WITH STRAWBALES. THESE ADDITIONAL DEVICES ARE NOT SHOWN ON THE PLAN BUT SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- AT THE END OF THE PROJECT ALL SEDIMENT IN MANHOLE SUMPS SHALL BE REMOVED, IF APPLICABLE.
- PERMANENT (FINAL) VEGETATION SHALL BE PLANTED AND SUPPLEMENTAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICABLE.

PREPARE SEEDING AREA, PROVIDE AND PLANT SEED IN ACCORDANCE WITH 'PERMANENT VEGETATIVE COVER' AS DESCRIBED IN THE 'RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK' AS PREPARED BY THE US DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1989, (AS REVISED).

ALL AREAS COMPACTED FROM CONSTRUCTION ACTIVITY AND VEHICLES SHALL BE UNCOMPACTED BY TILLING THE TOP 12" OF SOIL PRIOR TO PLANTING.

### SEED MIXES:

HOUSE LAWN MIX:  
RED FESCUE 0.90 LBS/1,000 SQ. FT.  
KENTUCKY BLUEGRASS 0.90 LBS/1,000 SQ. FT.  
PERENNIAL RYEGRASS 0.45 LBS/1,000 SQ. FT.

WETLAND BUFFER ZONE MIX:  
SEE 'NEW ENGLAND CONSERVATION/WILDLIFE MIX' THIS SHEET

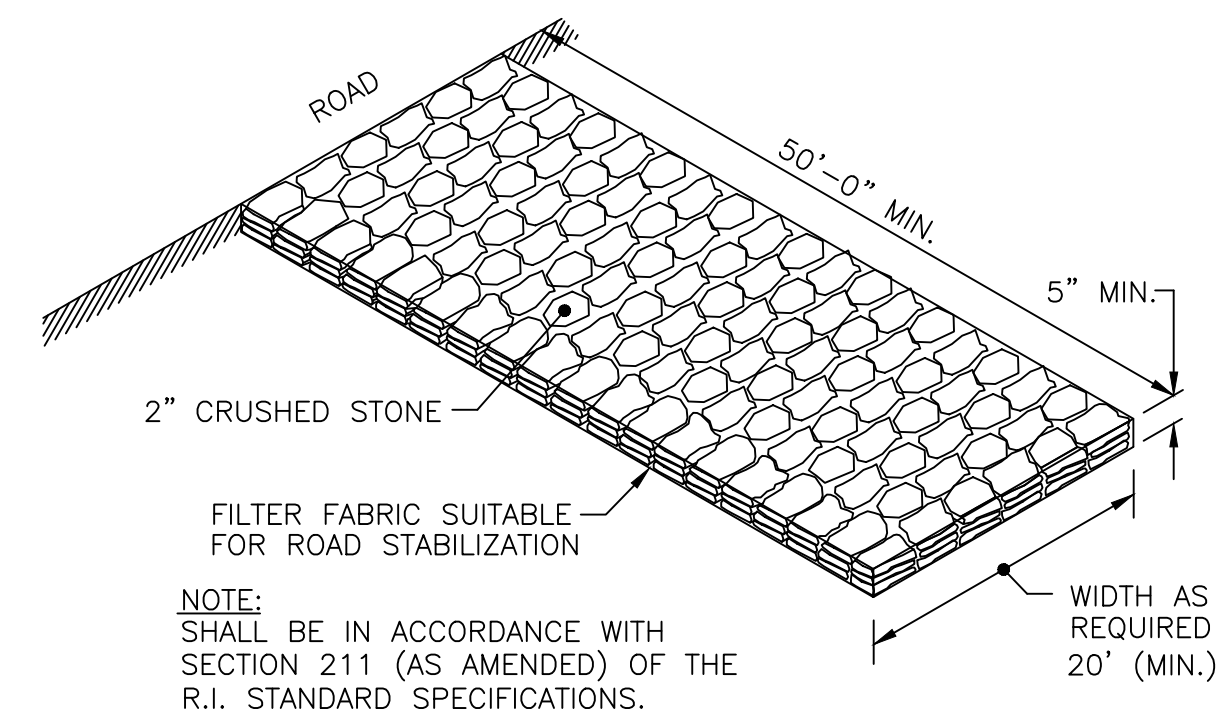
ROAD SHOULDER/GENERAL PURPOSE MIX:  
RED FESCUE 1.75 LBS/1,000 SQ. FT.  
COLONIAL BENTGRASS 0.11 LBS/1,000 SQ. FT.  
PERENNIAL RYEGRASS 0.11 LBS/1,000 SQ. FT.  
BIRDSFOOT TREFLOIL 0.35 LBS/1,000 SQ. FT.

STORMWATER DITCHES, DETENTION POND MIX:  
CREEPING RED FESCUE 0.45 LBS/1,000 SQ. FT.  
TALL FESCUE 0.45 LBS/1,000 SQ. FT.

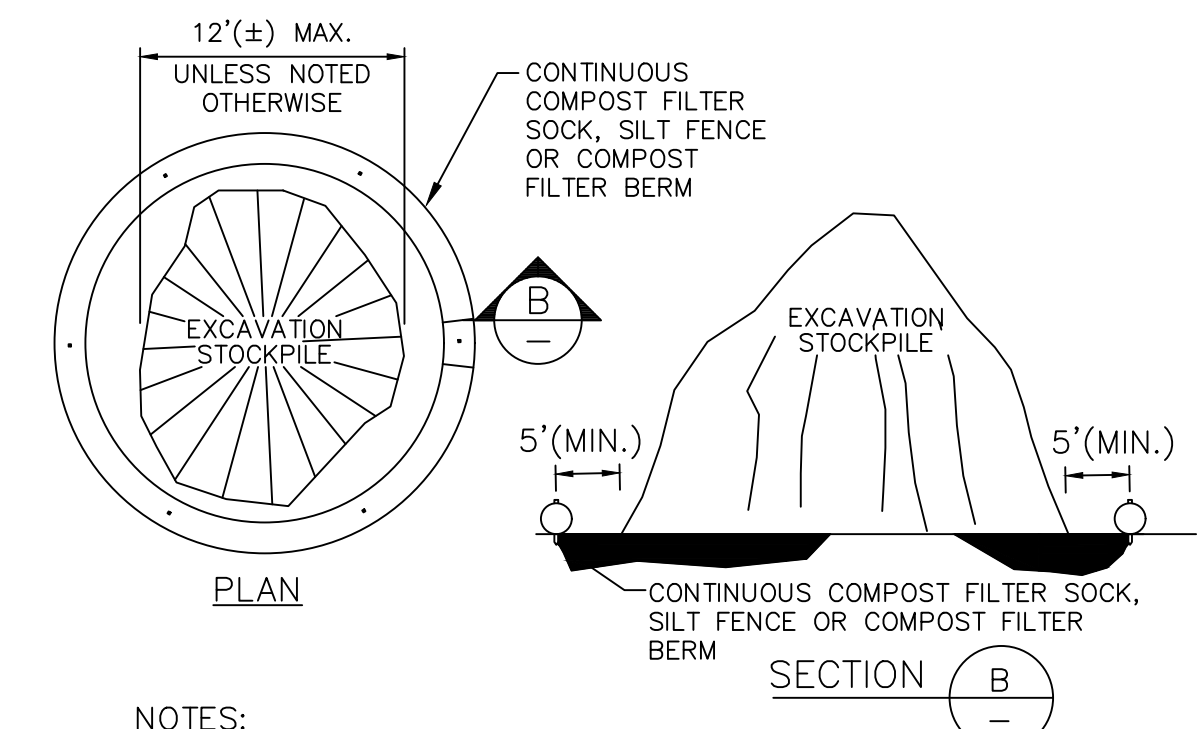
- UNTIL A DISTURBED AREA IS STABILIZED, SEDIMENT IN THE RUNOFF WATER SHALL BE TRAPPED BY THE USE OF SEDIMENT TRAPS OR SIMILAR MEASURES.
- DURING GRADING OPERATIONS, APPROPRIATE MEASURES FOR DUST CONTROL SHALL BE EXERCISED BY USE OF SPRAY WATER APPLIED OR APPROVED EQUAL.
- THE CONTRACTOR SHALL INSPECT AND MAINTAIN THE EROSION AND SEDIMENT CONTROL SYSTEM (INCLUDING POLLUTION PREVENTION TECHNIQUES) AS SPECIFIED ON DRAWINGS/STATE & LOCAL PERMITS AFTER EACH RAINSTORM EVENT AND ON A WEEKLY BASIS. PROFESSIONAL SHALL A SITE SPECIFIC STORM WATER POLLUTION PREVENTION PLAN FOR THE CONTRACTOR AND MAINTAIN RECORDS IN ACCORDANCE WITH RIDEM RIDPES REGULATIONS.
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.

## NARRATIVE:

- PROJECT DESCRIPTION:** THE PROPOSED PROJECT CONSISTS OF REDEVELOPING AN EXISTING BUILDING/PARKING AREA AND NEW ELECTRIC UTILITY.
- AREA:** AREA WITHIN LIMIT OF DISTURBANCE = 0.80 ACRES.
- BASE FLOOD ELEVATION:** THE PARCELS FALL WITHIN ZONE PER FEMA MAP NUMBER 44007C0336H, EFFECTIVE 9/18/2013.
- PROPOSED STORMWATER SYSTEM(S):** THE OVERALL PROJECT WAS DESIGNED TO REDUCE RUNOFF FROM PRE PROJECT CONDITIONS THRU THE 100-YR STORM. THE AMOUNT OF IMPERVIOUS SURFACE HAS DECREASED.
- SUMMARY OF SOIL EROSION CONTROLS:** AREAS DOWN GRADIENT OF A DISTURBED AREAS SHALL BE PROTECTED WITH COMPOST FILTER SOCK AS SHOWN ON THE PLAN/DETAILS. ALL SOIL STOCK PILE AREAS SHALL BE PROTECTED FROM SOIL EROSION AS SHOWN ON THE DETAIL. ACCESS POINTS INTO THE SITE WILL BE STABILIZED WITH CRUSHED STONE. STABILIZE ALL DISTURBED AREAS AS SOON AS POSSIBLE.
- SCHEDULE:** START IMMEDIATELY AFTER RECEIPT OF LOCAL AND STATE PERMITS (SPRING 2025) AND BE COMPLETE BY (SPRING 2026).
- CONTACT:** OWNER OF PROPERTY.



## CONSTRUCTION ACCESS



- NOTES:
- REQUIRED SIZE TO BE DETERMINED BY THE ENGINEER
  - SOIL SHALL BE COVERED WITH TARPS WHEN DETERMINED TO BE DRY BY THE RESIDENT ENGINEER
  - STOCKPILE LOCATIONS CAN VARY FROM SITE PLAN SINCE SITE IS VERY FLAT.

## LONG-TERM POLLUTION PREVENTION NOTES:

SITE OWNER/OPERATOR SHALL REFER TO AND FOLLOW THE APPROVED OPERATION & MAINTENANCE (O&M) PLAN PREPARED FOR THIS PROJECT. A BRIEF SUMMARY OF LONG-TERM POLLUTION PREVENTION TECHNIQUES THAT MAY BE APPLIED TO THE PROJECT (AS APPROPRIATE) IS PROVIDED BELOW. PLEASE REFER TO THE LATEST RI STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL FOR FULL EXPLANATIONS AND DETAILS WHICH CAN BE DOWNLOADED OFF THE DEM WEBSITE.:

- SOLID WASTE CONTAINMENT:**
  - OWNER TO PROVIDE TRASH CONTAINER. CONTAINER TO HAVE A COVER TO PREVENT TRASH FROM BLOWING OUT.
  - SWEEP COMMON DRIVEWAY ANNUALLY.
  - PET WASTE STATIONS THAT PROVIDE BAGS AND WASTE CONTAINERS ARE RECOMMENDED.
- HAZARDOUS MATERIALS CONTAINMENT:**
  - STORE ALL HAZARDOUS MATERIALS INSIDE STORAGE LOCKERS OR OTHER APPROVED METHODS WHICH HAVE SECONDARY CONTAINMENT SYSTEMS.
  - SECONDARY CONTAINMENT MUST BE INCLUDED WHEREVER SPILLS MIGHT OCCUR (E.G. FUELING AND HAZARDOUS MATERIAL TRANSFER AND LOADING AREAS).
- ROADS AND PARKING AREA MANAGEMENT:**
  - DELETED.
  - USE DEICING CHEMICALS AND SAND JUDICIOUSLY, AS THEY HAVE THE POTENTIAL TO CAUSE WATER QUALITY PROBLEMS. PROVIDE AND SPREAD IN ACCORDANCE WITH O&M RECOMMENDATIONS.
    - PLOW SNOW AND STORE ACCUMULATED SNOW PILES AWAY FROM INFILTRATION PRACTICES. KEEP SNOW PILES 50 FEET FROM WETLAND EDGE AND AREA SUBJECT TO STORM FLOW.
    - DEBRIS SHOULD BE CLEANED FROM THE SITE PRIOR USING THE SITE FOR SNOW DISPOSAL.
    - DEBRIS SHOULD BE CLEANED FROM THE SITE AND PROPERLY DISPOSED OF AT THE END OF THE SNOW SEASON.
  - DELETED.
- LAWN, GARDEN, AND LANDSCAPE MANAGEMENT:**
  - LAWN CONVERSION - REDUCE THE AMOUNT OF LAWN BY REPLANTING LAWN WITH GARDEN BEDS CONTAINING FLOWERS/SHRUBS. LAWNS REQUIRE MORE MAINTENANCE THAN FLOWER BEDS.
  - SOIL BUILDING - MAINTAIN A HEALTHY LAWN BY TESTING SOIL FOR pH, FERTILITY, COMPACTION, TEXTURE, AND EARTHWORM CONTENT.
  - GRASS SELECTION - SELECT DROUGHT TOLERANT GRASS SPECIES.
  - MOWING AND THATCH MANAGEMENT - MAINTAIN GRASS AT MINIMUM 3 TO 4 INCHES IN HEIGHT. THIS WILL REDUCE WEED GROWTH.
  - FERTILIZATION - MINIMIZE FERTILIZATION. FERTILIZE NO MORE THAN TWICE A YEAR. APPLY CAREFULLY SO FERTILIZER DOES NOT SPREAD ONTO IMPERVIOUS SURFACES.
  - WEED MANAGEMENT - NEVER USE CHEMICAL HERBICIDES TO ELIMINATE OR CONTROL WEEDS. OWNER SHALL REMOVE WEEDS BY PULLING OR DIGGING OUT.
  - PEST MANAGEMENT - LIMIT PESTICIDE USE. CHOOSE PESTICIDES THAT POSE THE LEAST RISK TO HUMAN HEALTH AND THE ENVIRONMENT.
  - SENSIBLE IRRIGATION - WATER NO MORE THAN 1" PER WEEK. USE DROUGHT-RESISTANT GRASSES. CUT GRASS AT 3-4 INCHES.
- SNOW DISPOSAL:**
  - AVOID DISPOSING OF SNOW ON TOP OF STORM DRAIN CATCH BASINS OR IN STORMWATER DRAINAGE SWALES OR DITCHES. SNOW COMBINED WITH SAND AND DEBRIS MAY BLOCK A STORM DRAINAGE SYSTEM, CAUSING LOCALIZED FLOODING. IN ADDITION, A HIGH VOLUME OF SAND, SEDIMENT, AND LITTER RELEASED FROM MELTING SNOW MAY BE QUICKLY TRANSPORTED THROUGH THE DRAINAGE SYSTEM INTO SURFACE WATER.
- DRIVEWAY AND PARKING SEALANTS:**
  - DELETED.
- DEICING REQUIREMENTS:**
  - STORAGE:**
    - SALT STORAGE PILES SHOULD BE COMPLETELY COVERED, IDEALLY BY A ROOF, AND AT A MINIMUM, BY A WEIGHTED TARP, AND STORED ON IMPERVIOUS SURFACES. THE DEM GROUNDWATER QUALITY RULES REQUIRE THAT DEICER MATERIALS BE COVERED IN AREAS WHERE THE GROUNDWATER IS CLASSIFIED GAA OR GA.
    - RUNOFF SHOULD BE CONTAINED IN APPROPRIATE AREAS.
    - SPILLS SHOULD BE CLEANED UP AFTER LOADING OPERATIONS. THE MATERIAL MAY BE DIRECTED TO A SAND PILE OR RETURNED TO SALT PILES.
    - AVOID STORAGE IN DRINKING WATER SUPPLY AREAS, WATER SUPPLY AQUIFER RECHARGE AREAS, AND PUBLIC WELLHEAD PROTECTION AREAS.
  - APPLICATION:**
    - APPLICATION RATE OF DEICING MATERIALS SHOULD BE TAILORED TO ROAD CONDITIONS (I.E., HIGH VERSUS LOW VOLUME ROADS).
    - TRUCKS SHOULD BE EQUIPPED WITH SENSORS THAT AUTOMATICALLY CONTROL THE DEICER SPREAD RATE.
    - DRIVERS AND HANDLERS OF SALT AND OTHER DEICERS SHOULD RECEIVE TRAINING TO IMPROVE EFFICIENCY, REDUCE LOSSES, AND RAISE AWARENESS OF ENVIRONMENTAL IMPACTS.

## SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES:

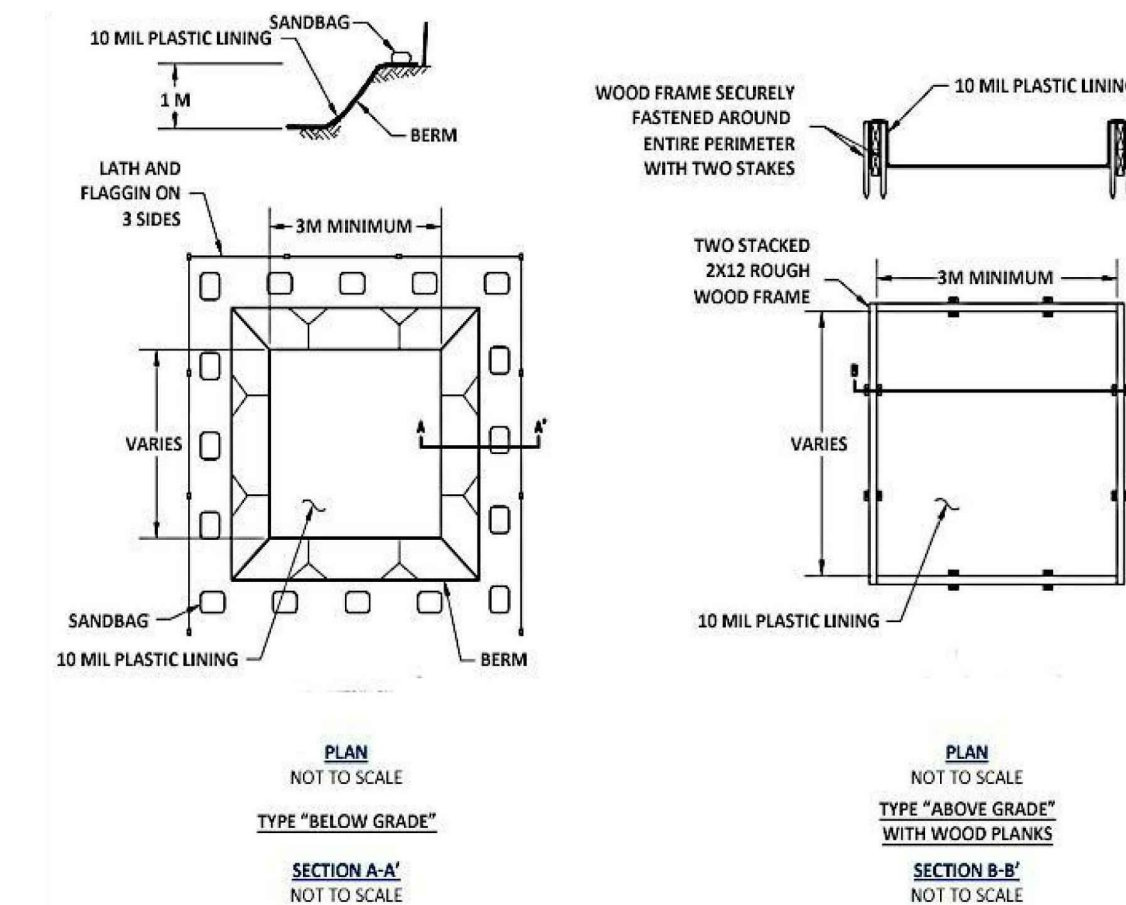
- CONTRACTOR TO REFER TO RIDOT AND TOWN PERMITS PRIOR TO CONSTRUCTION.
- KEEP A COPY OF THE PERMITS AND APPROVED SITE PLAN SET ON SITE AT ALL TIMES.
- CONSTRUCT CONSTRUCTION ACCESS DEVICE, SEE DETAIL.
- HAVE SURVEYOR STAKE LIMIT OF DISTURBANCE.
- PLACE COMPOST FILTER SOCK ALONG LIMIT OF DISTURBANCE.
- IN NO CASE SHALL THE LIMIT OF WORK EXTEND BEYOND THE COMPOST FILTER SOCKS.
- CONSTRUCT STOCKPILES IN ACCORDANCE WITH THE DETAIL.
- CONSTRUCT PARKING AREA AND UTILITIES.
- SEED DISTURBED AREAS WITH SPECIFIED MIXES.
- REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER A PERMANENT GROWTH OF VEGETATION IS ESTABLISHED.

## STEEP SLOPES >15%:

- CONTRACTOR TO PROTECT DISTURBED SLOPES >15% WITH ADDITIONAL MEASURES INCLUDING ADDITIONAL COMPOST FILTER SOCK (SEE DETAIL FOR SPACING BETWEEN SOCKS) AND EROSION CONTROL FABRIC WHEN SEEDING WHEN RESTORING VEGETATION.

## PRESERVE TOPSOIL:

- CONTRACTOR TO PRESERVE EXISTING TOPSOIL BY STOCKPILING IN ACCORDANCE WITH THE DETAIL AND RE-SPREADING TOPSOIL OVER DISTURBED AREAS AT A MINIMUM DEPTH OF 4 INCHES. THE SOIL BENEATH THE TOPSOIL SHALL NOT BE OVERLY COMPACTED. ANY OVERLY COMPACTED SOIL SHALL BE SUFFICIENTLY SCARIFIED PRIOR TO PLACEMENT OF TOPSOIL.



NOTES:  
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.  
2. FOR REFERENCE PURPOSES ONLY. NOT FOR CONSTRUCTION PURPOSES.

CREDIT: 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.

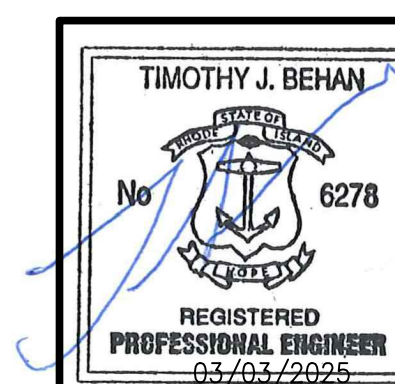
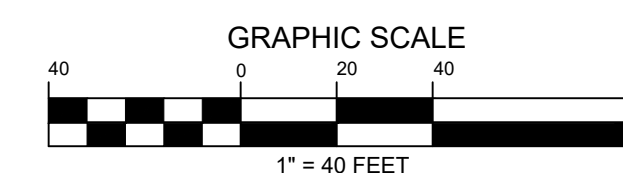
NOTE: ALL CONCRETE WASHOUT WATER SHALL BE DISPOSED INTO A TEMPORARY CONCRETE WASHOUT. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER APPLICABLE SOLID WASTE REGULATIONS. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

## TEMPORARY CONCRETE WASHOUT TYPICAL DETAIL

NOT TO SCALE

### DRAWING ISSUE:

- CONCEPT
  - CUSTOMER APPROVAL
  - PERMITTING
  - CONSTRUCTION
  - AS-BUILT
  - OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION



### REVISIONS

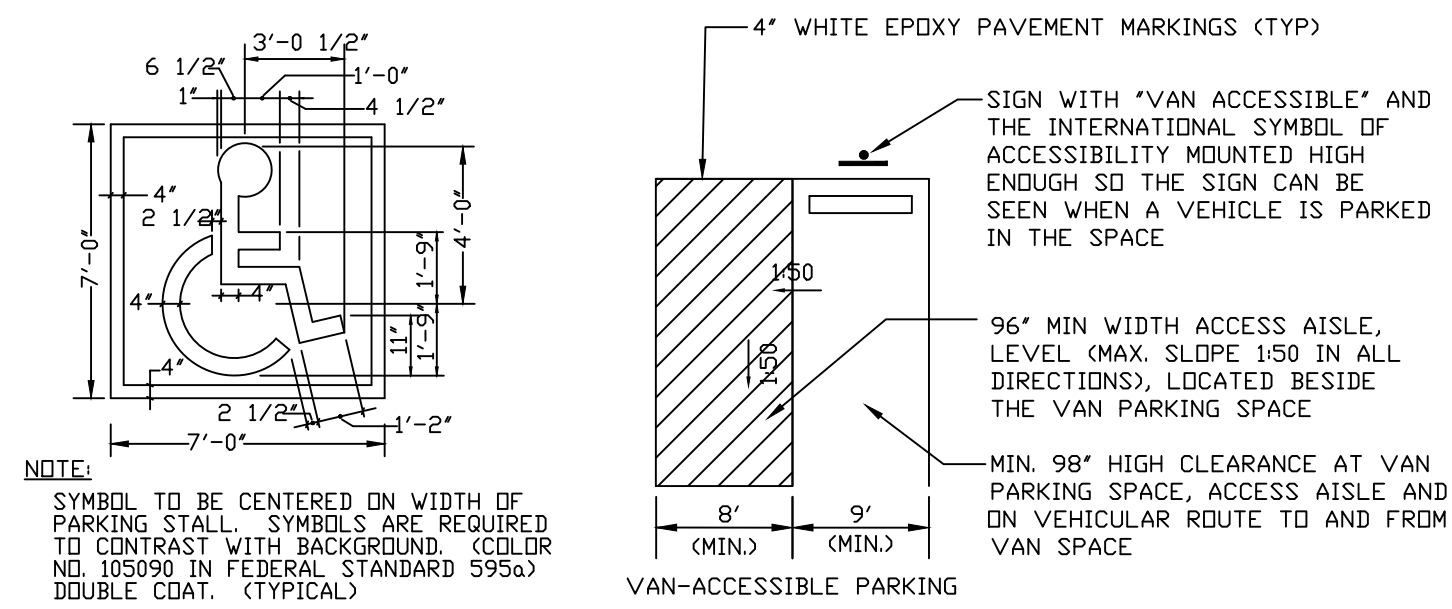
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## PERMIT AGENCY REVIEW PLAN FOR "100 WAMPANOAG TRAIL" ON MAP 408, BLOCK 10 PARCEL 24 WAMPANOAG TRAIL EAST PROVIDENCE, RHODE ISLAND SOIL EROSION CONTROL PLAN-2

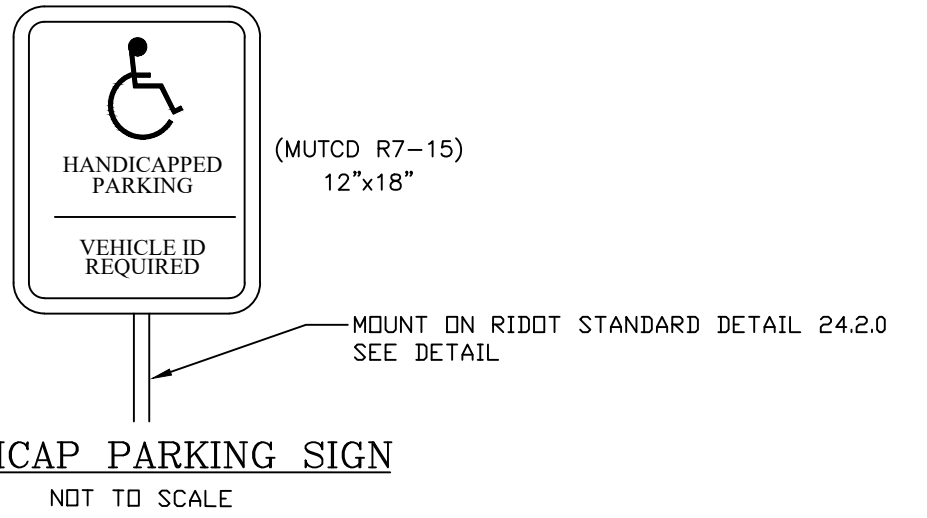
SCALE: AS SHOWN	SHEET NO: 5 OF 6
DRAWN BY: TJB	DESIGN BY: TJB
DATE: MARCH 3, 2025	CHECKED BY: TJB
PROJECT NO 24092.00	





**HANDICAPPED PARKING SYMBOL**  
NOT TO SCALE

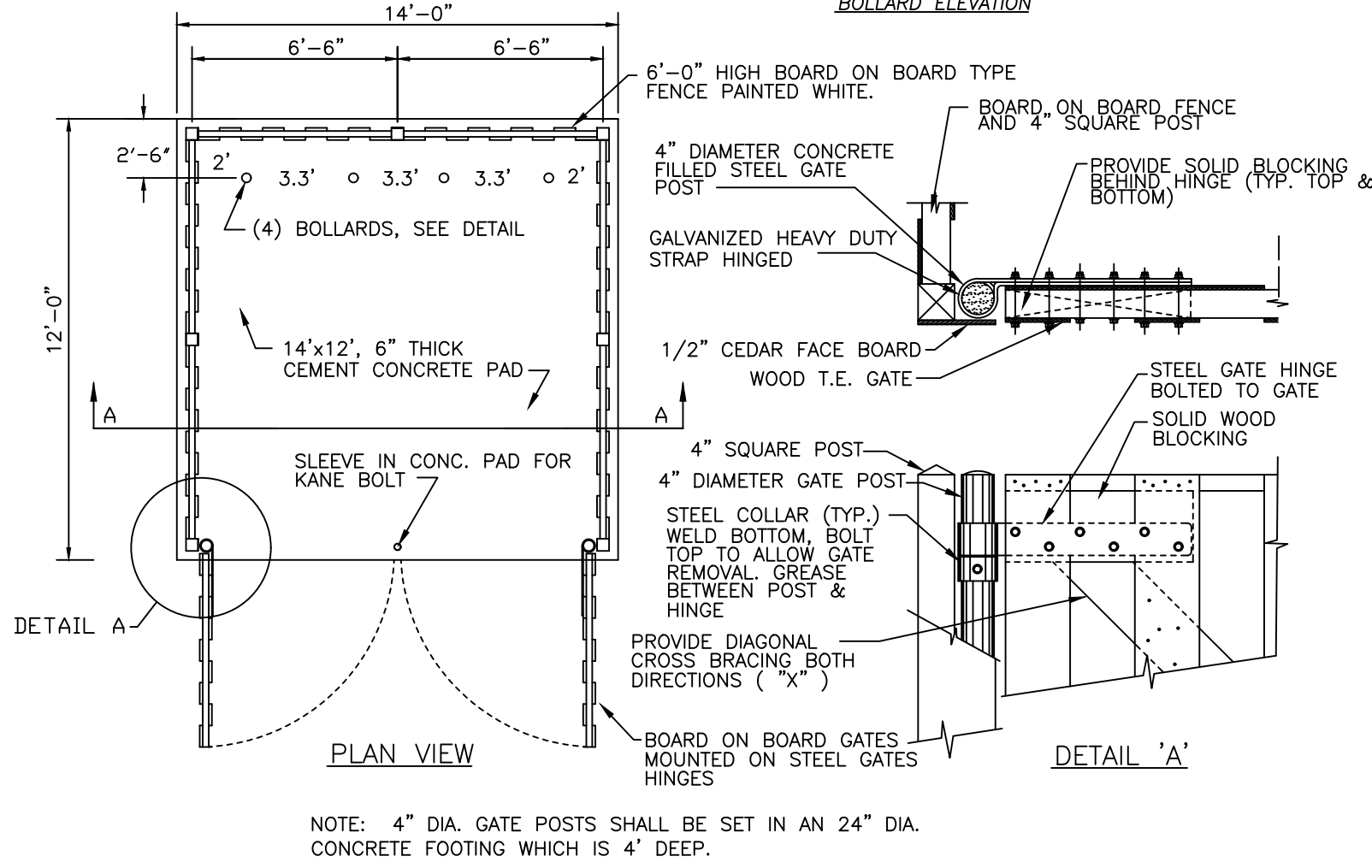
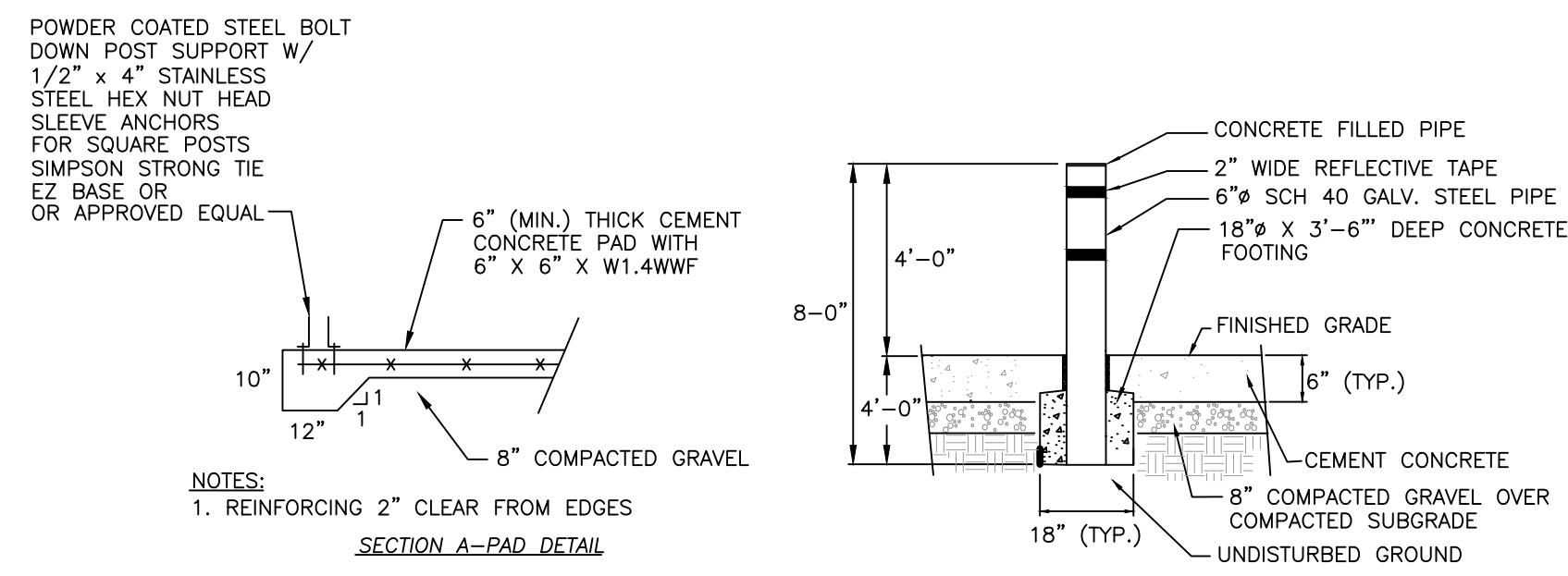
**HANDICAPPED PARKING SPACES**  
NOT TO SCALE



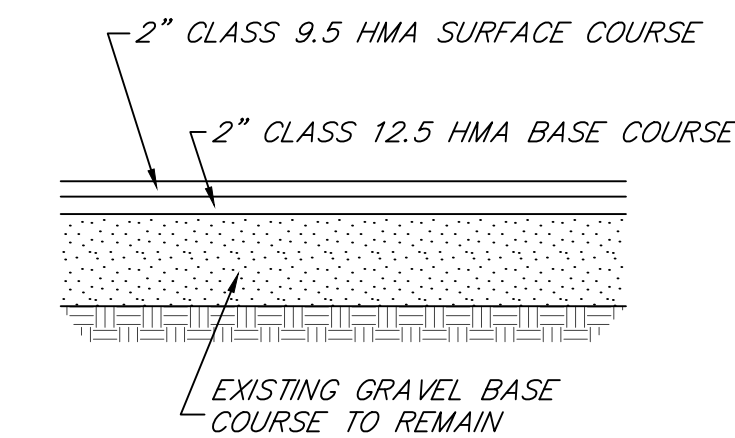
**HANDICAP PARKING SIGN**  
NOT TO SCALE

- ALL IMPROVEMENTS SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES, LATEST REVISION/AMENDMENT.
- THE CONTRACTOR SHALL NOT ALTER THE GRADING ON THE PLAN UNLESS APPROVED BY THE ENGINEER.
- ALL WORK SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN AND CITY STANDARDS.
- ADA PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2% (1:50).
- ALL ADA PARKING SPACES SHALL BE FURNISHED WITH THE APPROPRIATE SIGNS AND MARKINGS.
- ALL CURB RAMPS SHALL BE FURNISHED WITH DETECTABLE WARNINGS.
- ANY ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 2% (1:50) IS CONSIDERED A RAMP. RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12.5 FOR A MAXIMUM HORIZONTAL DISTANCE OF 6 FEET. A 60 INCH X 60 INCH LANDING IS REQUIRED AT EACH END OF THE RAMP. RAMPS GREATER THAN 6' LONG REQUIRE HANDRAILS IN ACCORDANCE WITH ADA REQUIREMENTS.

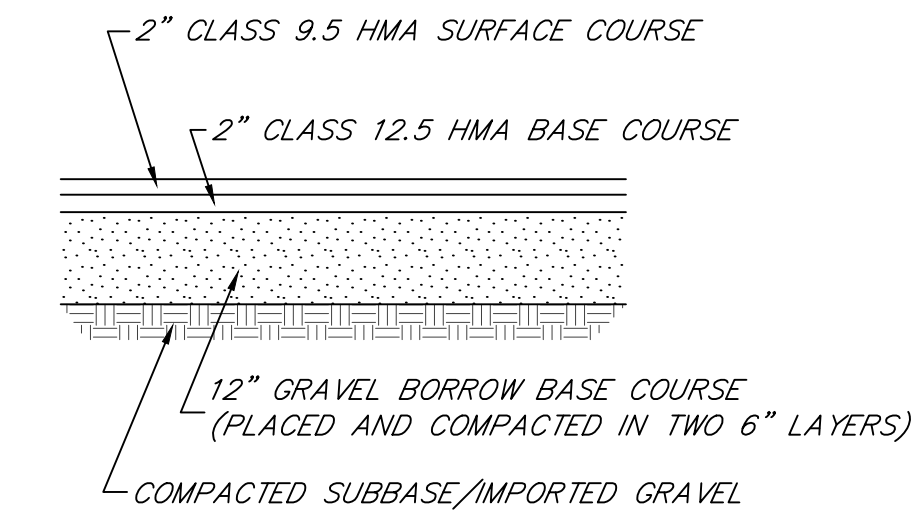
**ADA PARKING AREA DETAILS & NOTES**  
NOT TO SCALE



**TRASH CONTAINER ENCLOSURE DETAIL**  
NOT TO SCALE



**SITE PAVEMENT TYPICAL CROSS SECTION EXISTING PAVEMENT AREAS**  
NOT TO SCALE



**SITE PAVEMENT TYPICAL CROSS SECTION NEW PAVEMENT AREAS**  
NOT TO SCALE

**ROADWAY AND SIDEWALK BASE COURSE MATERIAL SPECIFICATION:**

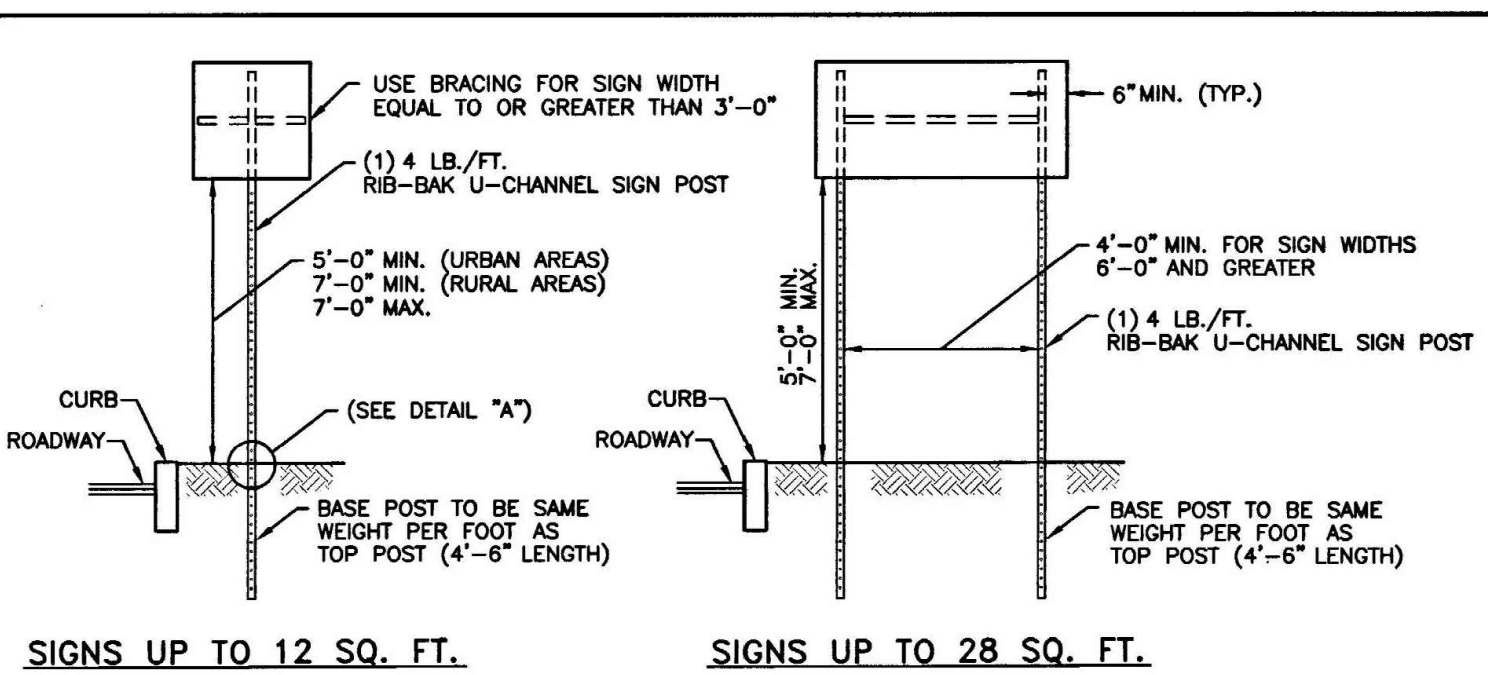
- BASE COURSE MATERIAL:** THE BASE COURSE MATERIAL SHALL BE GRAVEL AND CRUSHED STONE FREE FROM ICE, SNOW, SAND, CLAY, LOAM, OR OTHER DELETERIOUS MATERIAL. THE MATERIAL SHALL CONFORM TO THE FOLLOWING GRADATION LIMITS
 

U.S. STANDARD SIEVE SIZE	PERCENT PASSING BY WEIGHT
3 INCH	100 %
1-1/2 INCH	70-100 %
3/4 INCH	50-85 %
No. 4	30-55 %
No. 50	8-25 %
No. 200	2-10 %
- ALL BASE COURSE MATERIAL UNDER ROADWAYS, SIDEWALKS AND PARKING AREAS SHALL BE SPREAD IN LIFTS OF LESS THAN 12-INCHES AND COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY LABORATORY TESTING, ASTM D1557-07.

**BITUMINOUS CONCRETE (HMA) PAVEMENT:**

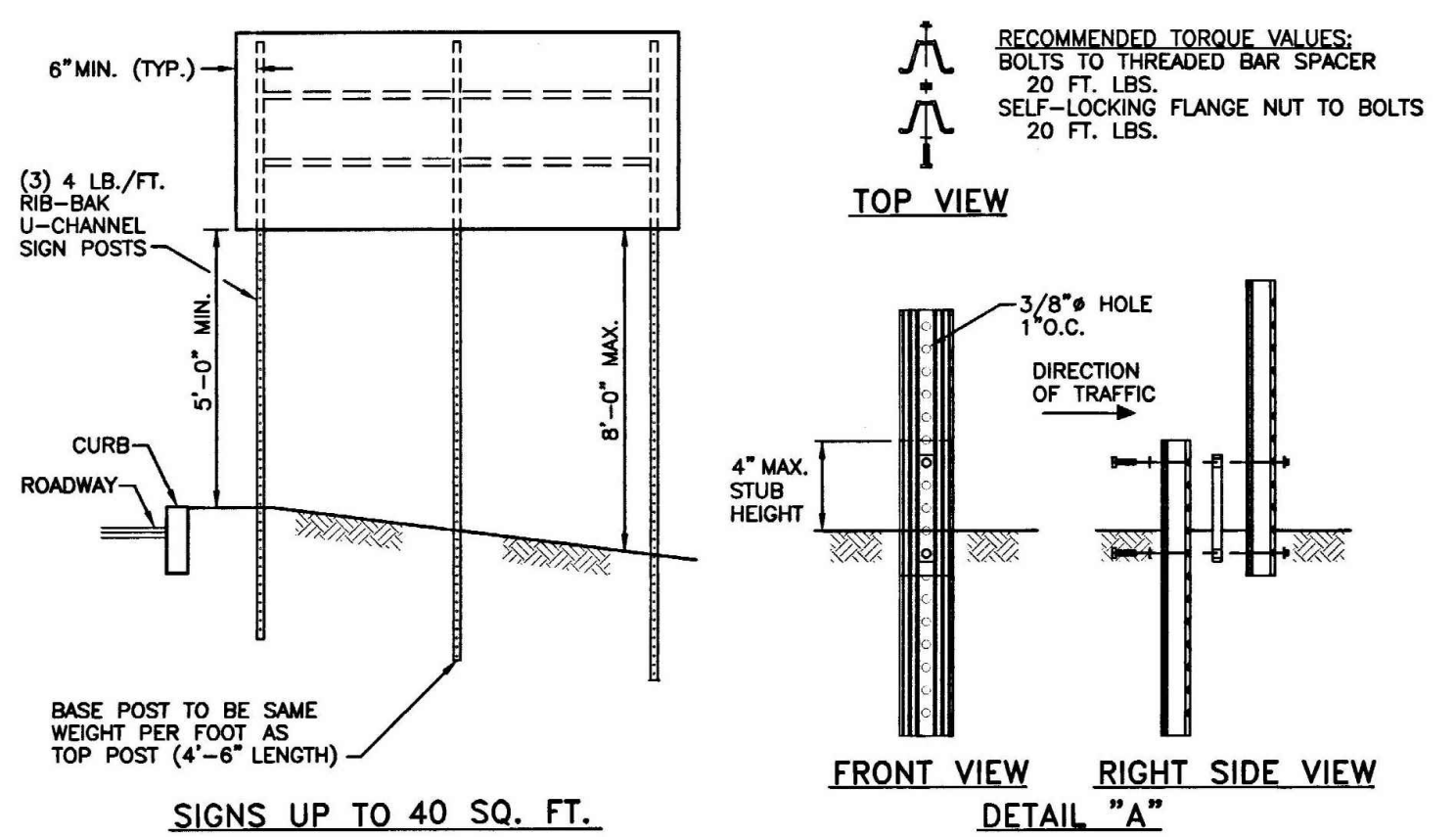
HMA SHALL BE AN APPROVED ASPHALT CONCRETE AND AFTER ROLLING, AND FINAL COMPACTION MUST HAVE A UNIFORM THICKNESS PER COURSE. BOTH BINDER AND SURFACE COURSES ARE REQUIRED.  
**BINDER COURSE:** SHALL MEET RIDOT HMA CLASS 12.5 SPECIFICATIONS  
**SURFACE COURSE:** SHALL MEET RIDOT HMA CLASS 9.5 SPECIFICATIONS

**PAVEMENT DETAILS & NOTES**  
NOT TO SCALE



**SIGNS UP TO 12 SQ. FT.**

**SIGNS UP TO 28 SQ. FT.**



**SIGNS UP TO 40 SQ. FT.**

- INSTALLATION PROCEDURE:**
- REMOVE A SPADE FULL OF SOIL (APPROXIMATELY 2" DEEP) FROM WHERE THE BASE POST WILL BE LOCATED.
  - DRIVE THE BASE POST IN THE CENTER OF THE HOLE JUST CREATED, TO WITHIN 4" OF GRADE LEVEL.
  - PLACE ONE BOLT AND FLAT WASHER IN THE TOP HOLE OF THE BASE POST. (IF THE TOP HOLE ON THE BASE POST, OR THE BOTTOM HOLE ON THE TOP POST IS LESS THAN 3/4" FROM END OF THE POST USE THE SECOND AND SIXTH HOLES.) WITH THE THREADED BAR SPACER ALIGNED WITH TOP HOLE ON THE BACK SIDE OF THE BASE POST, SECURELY TIGHTEN THE BOLT TO 20 FT. LBS. OF TORQUE. REPEAT THIS PROCESS FOR THE LOWER BOLT.
  - NEST THE TOP POST OVER THE PROTRUDING BOLTS ON THE BASE POST. PLACE A SELF-LOCKING FLANGE NUT ON EACH BOLT AND TIGHTEN SECURELY TO 20 FT. LBS. OF TORQUE.
  - REPLACE SOIL REMOVED IN STEP 1.
  - IN TRIPLE POST INSTALLATIONS USING 4 LB./FT. POSTS IN WEAK SOIL, A 1'-0" W X 6" H SOIL PLATE IS REQUIRED.

- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION T.15 OF THE R.I. STANDARD SPECIFICATIONS.
  - THE SILVER ANODIZED BAR SPACER IS FOR USE WITH 2, 2.5 AND 2.75 LB./FT. RIB-BAK POST GRADE SP-80 ONLY.
  - THE GOLD ANODIZED BAR SPACER IS FOR USE WITH 3 AND 4 LB./FT. RIB-BAK POST GRADE SP-80 ONLY.
  - INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
  - FOR SIGNS GREATER THAN 40 SQ. FT., REFER TO STD. 30.1.0, 30.1.1, 30.2.0, 30.2.1, 30.3.0, 30.3.1, 30.4.0, 30.4.1, 30.4.2 AND 30.4.3.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

**SIGN POST SELECTION AND INSTALLATION DETAILS**  
U-CHANNEL POST (SIGNS UP TO 8'-0" W X 4'-0" H)

REVISIONS: NO. BY DATE

DATE: JUNE 15, 1998

R.I. STANDARD 24.2.0

SIGN NUMBER	*R1-1	*R1-2	R2-1	R2-4a	R2-5a
<b>LEGEND</b>	STOP	YIELD	SPEED LIMIT	SPEED LIMIT	SPEED ZONE AHEAD
<b>COLOR</b>	BACKGROUND: RED COPY: WHITE	BACKGROUND: WHITE COPY: RED	BACKGROUND: WHITE COPY: BLACK	BACKGROUND: WHITE COPY: BLACK	BACKGROUND: WHITE COPY: BLACK
<b>SIGN DIMENSION</b>	WIDTH: 24", 30", 36", 48" HEIGHT: 24", 30", 36", 48"	WIDTH: 36", 48", 60" HEIGHT: 36", 48", 60"	WIDTH: 24", 36", 48", 60" HEIGHT: 24", 36", 48", 60"	WIDTH: 24", 36", 48", 60" HEIGHT: 24", 36", 48", 60"	WIDTH: 24", 36", 48", 60" HEIGHT: 24", 36", 48", 60"

SIGN NUMBER	R3-1	R3-2	R3-3	R3-4	R3-5
<b>LEGEND</b>	NO LEFT TURN	NO RIGHT TURN	NO TURNS	ONLY	ONLY
<b>COLOR</b>	BACKGROUND: WHITE COPY: RED (BLACK ARROW)	BACKGROUND: WHITE COPY: RED (BLACK ARROW)	BACKGROUND: WHITE COPY: BLACK	BACKGROUND: WHITE COPY: RED (BLACK ARROW)	BACKGROUND: YELLOW COPY: BLACK
<b>SIGN DIMENSION</b>	WIDTH: 24" HEIGHT: 24"	WIDTH: 24" HEIGHT: 24"	WIDTH: 24" HEIGHT: 24"	WIDTH: 24" HEIGHT: 24"	WIDTH: 30" HEIGHT: 36"

SIGN NUMBER	R3-6	R3-7 (R OR L)	R4-1	R4-2	R4-3
<b>LEGEND</b>	LEFT LANE MUST TURN LEFT	DO NOT PASS	PASS WITH CARE	SLOWER TRAFFIC KEEP RIGHT	SLOWER TRAFFIC KEEP RIGHT
<b>COLOR</b>	BACKGROUND: WHITE COPY: BLACK	BACKGROUND: WHITE COPY: BLACK	BACKGROUND: WHITE COPY: BLACK	BACKGROUND: WHITE COPY: BLACK	BACKGROUND: WHITE COPY: BLACK
<b>SIGN DIMENSION</b>	WIDTH: 24", 30", 36", 48" HEIGHT: 24", 30", 36", 48"	WIDTH: 24", 30", 36", 48" HEIGHT: 24", 30", 36", 48"	WIDTH: 18", 24", 30", 36", 48" HEIGHT: 18", 24", 30", 36", 48"	WIDTH: 24", 30", 36", 48" HEIGHT: 24", 30", 36", 48"	WIDTH: 24", 30", 36", 48" HEIGHT: 24", 30", 36", 48"

SIGN NUMBER	R4-5	R4-6	*R4-7	R4-7a	R4-7b
<b>LEGEND</b>	TRUCKS RIGHT LANE	TRUCKS USE 500 FEET	KEEP RIGHT	KEEP RIGHT	KEEP RIGHT
<b>COLOR</b>	BACKGROUND: WHITE COPY: BLACK	BACKGROUND: WHITE COPY: BLACK	BACKGROUND: WHITE COPY: BLACK	BACKGROUND: WHITE COPY: BLACK	BACKGROUND: WHITE COPY: BLACK
<b>SIGN DIMENSION</b>	WIDTH: 24", 30", 36", 48" HEIGHT: 24", 30", 36", 48"	WIDTH: 24", 30", 36", 48" HEIGHT: 24", 30", 36", 48"	WIDTH: 24", 30", 36", 48" HEIGHT: 24", 30", 36", 48"	WIDTH: 18", 24", 30", 36", 48" HEIGHT: 18", 24", 30", 36", 48"	WIDTH: 24", 30", 36", 48" HEIGHT: 24", 30", 36", 48"

SIGN NUMBER	*R5-1a	R5-6	R5-10a	R6-1 (R OR L)
<b>LEGEND</b>	DON'T ENTER	WRONG WAY	PEDESTRIANS AND BICYCLES PROHIBITED	ONE WAY
<b>COLOR</b>	BACKGROUND: RED COPY: WHITE	BACKGROUND: RED COPY: WHITE	BACKGROUND: WHITE COPY: RED (BLACK BICYCLE)	BACKGROUND: WHITE COPY: BLACK
<b>SIGN DIMENSION</b>	WIDTH: 30", 36", 48" HEIGHT: 30", 36", 48"	WIDTH: 36", 48" HEIGHT: 24"	WIDTH: 24" HEIGHT: 24"	WIDTH: 24", 30", 36", 48" HEIGHT: 12"

SIGN NUMBER	R7-1	R7-2	R7-3	R7-4	R7-5
<b>LEGEND</b>	NO PARKING ANY TIME	NO PARKING 7PM-7PM	NO PARKING 7PM-7PM	NO STANDING ANY TIME	ONE HOUR PARKING
<b>COLOR</b>	BACKGROUND: WHITE COPY: RED	BACKGROUND: WHITE COPY: RED	BACKGROUND: WHITE COPY: RED	BACKGROUND: WHITE COPY: RED	BACKGROUND: WHITE COPY: GREEN
<b>SIGN DIMENSION</b>	WIDTH: 12" HEIGHT: 18"	WIDTH: 12" HEIGHT: 18"	WIDTH: 12" HEIGHT: 18"	WIDTH: 12" HEIGHT: 18"	WIDTH: 12" HEIGHT: 18"

SIGN NUMBER	R8-7	R11-1	R11-2
<b>LEGEND</b>	EMERGENCY STOPPING ONLY	KEEP OFF MEDIUM	ROAD CLOSED
<b>COLOR</b>	BACKGROUND: WHITE COPY: BLACK	BACKGROUND: WHITE COPY: BLACK	BACKGROUND: WHITE COPY: BLACK
<b>SIGN DIMENSION</b>	WIDTH: 30", 48" HEIGHT: 24", 36", 48"	WIDTH: 36", 48" HEIGHT: 48"	WIDTH: 48" HEIGHT: 30"

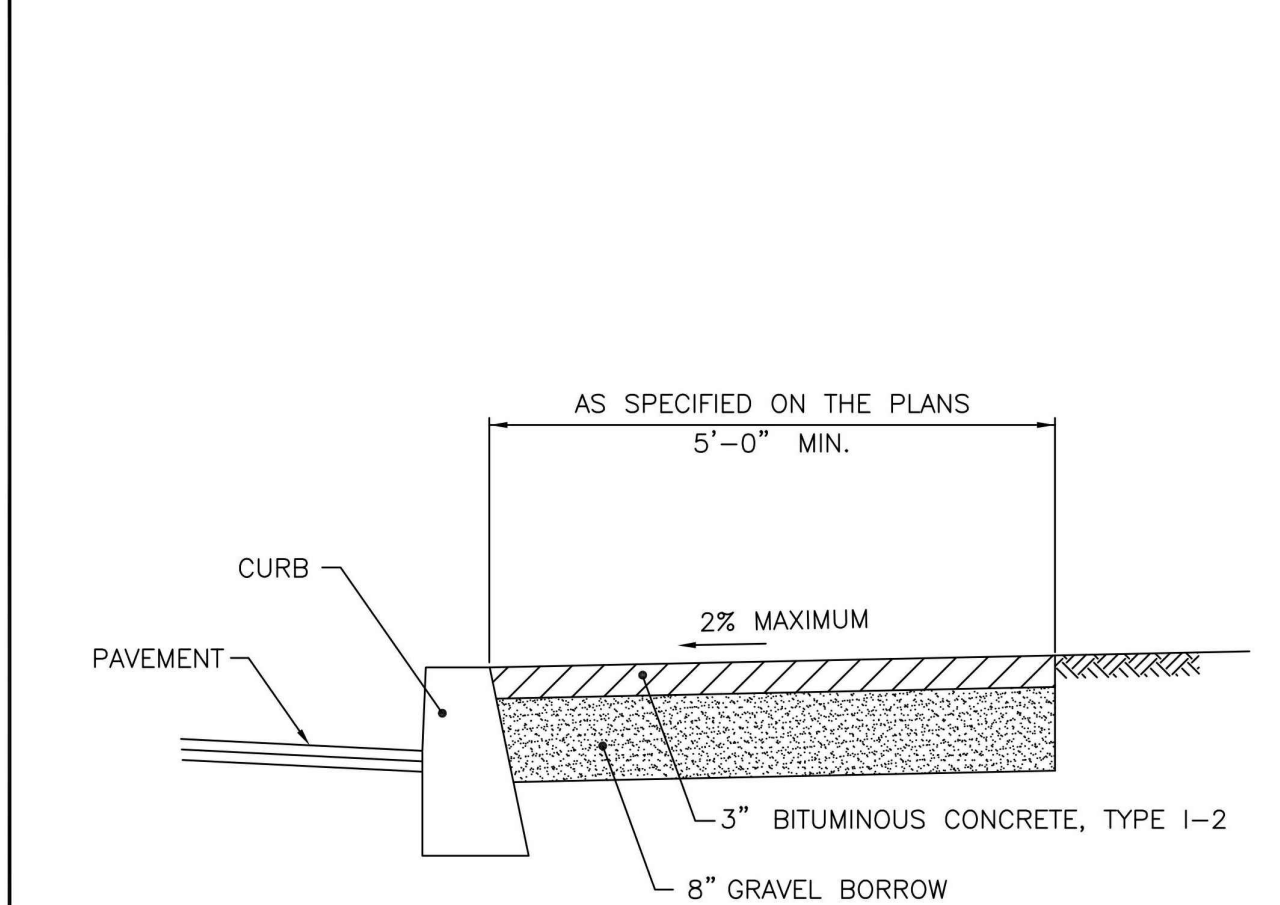
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

**REGULATORY SIGNS**

REVISIONS: NO. BY DATE

DATE: JUNE 15, 1998

R.I. STANDARD 27.1.0



- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
  - FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

**BITUMINOUS CONCRETE SIDEWALK**

REVISIONS: NO. BY DATE

DATE: JUNE 15, 1998

R.I. STANDARD 43.2.0

**OWNER/APPLICANT**  
TOUCHDOWN REALTY GROUP, LLC  
167 N QUINNESSSETT ROAD  
NORTH KINGSTOWN, RI 02852

**CONTACT:**  
TOM & KELLY CLAYTON  
PHONE: 703-597-1611  
EMAIL: CONTACT@TOUCHDOWNREALTYGROUP.COM

**DRAWING ISSUE:**

CONCEPT  
 CUSTOMER APPROVAL  
 PERMITTING  
 CONSTRUCTION  
 AS-BUILT  
 OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

**SLOW**

**TWO WAY**

**SLOW-TWO WAY TRAFFIC SIGN**  
NOT TO SCALE

**ENTER ONLY**

**ENTER ONLY SIGN**  
NOT TO SCALE

NOTE: SIGN LETTERING SHALL BE ON BOTH SIDES OF SIGN.

**COMMONWEALTH ENGINEERS & CONSULTANTS, INC.**  
400 SMITH STREET  
PROVIDENCE, RHODE ISLAND 02908  
(401) 273-6600

**PERMIT AGENCY REVIEW PLAN**  
FOR  
"100 WAMPANOAG TRAIL"  
ON  
MAP 408, BLOCK 10 PARCEL 24  
WAMPANOAG TRAIL  
EAST PROVIDENCE, RHODE ISLAND

**DETAIL SHEET**

SCALE: AS SHOWN SHEET NO: 6 OF 6

DRAWN BY: TJB DESIGN BY: TJB CHECKED BY: TJB

DATE: MARCH 3, 2025 PROJECT NO: 24092.00