

# East Providence Zoning Board of Review

## DIMENSIONAL VARIANCE FORM (Ref. 19-47)

This form must be completed in full prior to being considered by the Zoning Board of Review.

File #	_____
Date of Filing	_____
Received By	_____
Date of Hearing	_____
Action	_____
Recorded	Bk _____ Pg _____

PHONE NUMBER: (401) 447-8390

1. LOCATION OF PROPERTY 109 WILSON AVE ~~AVENUE~~ STREET  
 MAP 303 BLOCK 11 PARCEL 084 ZONING DISTRICT B3

2. OWNER HERMANO FORJES  
 ADDRESS 109 WILSON AVE  
 DATE OF PURCHASE 04/29/2019  
 PROPOSED LESSEE/PURCHASER \_\_\_\_\_  
 ADDRESS 109 WILSON AVE  
 ATTORNEY \_\_\_\_\_  
 ADDRESS \_\_\_\_\_  
 REPRESENTING \_\_\_\_\_

3. DIMENSIONS OF SITE 105.73' 122.39' 12,201 SF  
Width Depth Area (Sq. Ft.)

LIST OF ALL EXISTING BUILDINGS AND USES:

Use	Building Height	Area (Sq. Ft.) (Building Footprint)	Type of Construction
(1) <u>MAIN HOUSE</u>	<u>28'-6" +/-</u>	<u>1733</u>	<u>5</u>
(2) <u>GARAGE</u>	<u>13'-0" +/-</u>	<u>400</u>	<u>5</u>
(3) _____	_____	_____	_____

4. LIST OF PROPOSED CONSTRUCTION AND USES:

Use	No. of Height Stories	Basement Yes/No	Area (Sq. Ft.) (Bldg Footprint)	Multi-Family	Type of Construction	
				No. of Bedrooms/Unit		
(1) <u>GARAGE</u>	<u>19'-9"</u>	<u>1</u>	<u>NO</u>	<u>1500 SF</u>	<u>0</u>	<u>5</u>
(2) _____	_____	_____	_____	_____	_____	_____
(3) _____	_____	_____	_____	_____	_____	_____

(Over)

THIS VARIANCE APPLICATION RELATES TO:

- Principal Building (s)       Accessory Building       Lot Area

CHECK ONE OR MORE:

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Setback Requirement            | <input type="checkbox"/> Number of Dwelling Units |
| <input checked="" type="checkbox"/> Lot/Building Coverage          | <input type="checkbox"/> Floor Area               |
| <input type="checkbox"/> Landscaping                               | <input type="checkbox"/> Height                   |
| <input checked="" type="checkbox"/> Amount Parking or Loading      | <input type="checkbox"/> Signs/Billboards         |
| <input type="checkbox"/> Location/Dimensions of Parking or Loading | <input type="checkbox"/> Other: _____             |
| <input type="checkbox"/> Extension of Nonconforming Structure      |   |

6. VARIANCE SOUGHT: List each applicable section of the Zoning Ordinance for which Variance is sought plus a brief description of the nature of the variance (s):

Section Number	Description Variance
<u>ACCESSORY COVERAGE</u>	<u>EXCEEDS 50% OF MAIN HOUSE</u>
<u>LOT COVERAGE</u>	<u>EXCEEDS 25% LOT COVERAGE BY 1.5% OR 174sq</u>
<u>SETBACK (ACCESSORY)</u>	<u>PROPOSED IN PLACE OF EXISTING GARAGE</u>

7. DEVIATION FROM REQUIRED STANDARDS

Section Number	Ordinance Requirement	Proposed
① <u>19-134a</u>	<u>25% LOT COVERAGE</u>	<u>26.5%</u>
② <u>19-144b</u>	<u>5' ACCESSORY SETBACK</u>	<u>2'-0" SIDE / <del>2'-0" REAR</del></u>
③ <u>19-1</u>	<u>ACCESSORY 50%</u>	<u>65%</u>
④ <u>19-144b</u>	<u>5' ACCESSORY SETBACK</u>	<u>5' REAR</u>

8. DESCRIBE THE UNIQUE CHARACTERISTICS OR OTHER PECULIARITIES OF THE PROPERTY WHICH CREATE HARDSHIP.

DESIRE TO HAVE PROTECTED PARKING  
AND STORAGE. R3 IS ALLOWED 4 OFF STREET  
PARKING

NOTE: PLANS ACTED UPON BY THE BOARD BECOME INCORPORATED AS PART OF THE DECISION AND ARE FINAL.

I, the undersigned, swear that all information given above to the best of my knowledge is complete and correct.

OWNER(S) SIGNATURE: *Thomas M. J...* DATE 02-04-23  
 \_\_\_\_\_ DATE \_\_\_\_\_

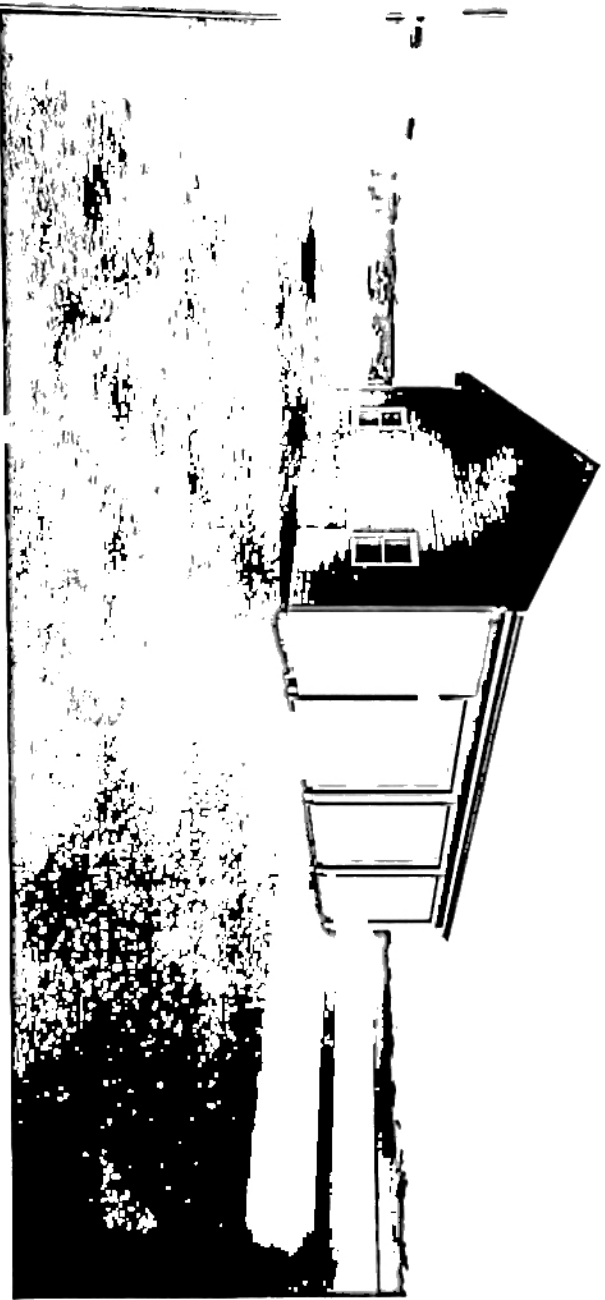
Agent/Attorney \_\_\_\_\_ Address \_\_\_\_\_

Location	CLZ	Account Number	Parent ID Number	User Account Number	Location Street Number	Location Address Street Number	Location Street Name	Grade	Unit Number	Grade	Complex Name
113-113 WILSON AVE	PLAFORD, RI 02918	8726	403-02-001-00	01-1204-18	113-113		WILSON AVE				
3 HOLLOW MOORE RD	PLAFORD, RI 02918	4287	303-11-083-18	09-8482-84			HOLLOW MOORE RD				
18 HORSFORD AVE	PLAFORD, RI 02918	4300	303-11-085-80	01-1218-77			HORSFORD AVE				
128 WILSON AVE	PLAFORD, RI 02918	8018	403-81-028-00	13-8277-86			WILSON AVE				
108 WILSON AVE	PLAFORD, RI 02918	4296	303-11-084-00	01-1248-18			WILSON AVE				
118 WILSON AVE	PLAFORD, RI 02918	8006	403-81-054-00	01-1200-71			WILSON AVE				
130 WILSON AVE	WICUM, NH 03281	8004	403-81-053-00	01-1208-83			WILSON AVE				
15 WOBURN RD	PLAFORD, RI 02918	8022	403-81-042-00	01-8172-81			WOBURN RD				
7 HOLLOW MOORE RD	PLAFORD, RI 02918	4294	303-11-083-14	03-8486-78			HOLLOW MOORE RD				
138 WILSON AVE	PLAFORD, RI 02918	8737	403-02-002-00	01-1200-11			WILSON AVE				
184 WILSON AVE	PLAFORD, RI 02918	8044	403-81-088-00	01-8008-47			WILSON AVE				
8 LIMON AVE	BARRINGTON, RI 02908	8037	403-81-056-18	16-7878-03			LIMON AVE				
13 WOBURN RD	PLAFORD, RI 02918	8032	403-81-081-00	01-8007-88			WOBURN RD				
3 WOBURN RD	PLAFORD, RI 02918	8033	403-81-052-00	01-8007-74			WOBURN RD				
4 LIMON AVE	PLAFORD, RI 02918	8038	403-81-086-00	01-1202-13			LIMON AVE				
22 HORSFORD AVE	PLAFORD, RI 02918	4301	303-11-086-00	01-1206-88			HORSFORD AVE				
8 HORSFORD AVE	PLAFORD, RI 02918	8743	403-02-009-00	01-1287-87			HORSFORD AVE				
128 WILSON AVE	PLAFORD, RI 02918	8728	403-02-003-00	01-8008-78			WILSON AVE				
84 HORSFORD AVE	PLAFORD, RI 02918	4302	303-11-087-00	01-1203-00			HORSFORD AVE				
15 BRADLEY ST	PLAFORD, RI 02918	8742	403-02-007-00	01-1204-23			BRADLEY ST				
27-28 HORSFORD AVE	BARRINGTON, RI 02908	8720	403-01-001-00	18-8780-88	27-28		HORSFORD AVE				
17 HORSFORD AVE	PLAFORD, RI 02918	8744	403-02-008-00	18-1208-18			HORSFORD AVE				
181 WILSON AVE	PLAFORD, RI 02918	4285	303-11-083-03	01-0188-43			WILSON AVE				
122 WILSON AVE	PLAFORD, RI 02918	8021	403-81-041-00	01-1243-81			WILSON AVE				
4 HOLLOW MOORE RD	PLAFORD, RI 02918	4288	303-11-083-04	13-8480-00			HOLLOW MOORE RD				
8 DUNCAN RD	PLAFORD, RI 02918	8018	403-81-008-00	16-1380-00			DUNCAN RD				
128 WILSON AVE	PLAFORD, RI 02918	8020	403-81-040-00	23-8781-00			WILSON AVE				
183 WILSON AVE	PLAFORD, RI 02918	4284	303-11-083-18	11-0887-00			WILSON AVE				

Owner Name 1	Owner Name 2	Owner Name 3	Mailing Address Line 1	Mailing Address Line 2	Mailing City	Mailing State	Mailing Zip Code	Owner Occupied	Zoning Code 1	Head Street Code
SHR, GREGORY			113-115 WILSON AVE		RAIFORD	NC	2816		NO	
COPEL, MARY D A	COO MARY D DABAVA		PO BOX 148		RAIFORD	NC	2816		NO	
DAVE, MICHAEL C			18 HORSFORD AVE		RAIFORD	NC	2816		NO	
LEONARDO, ROBERT A JR	LIE-JANNOVA, TRACEY		123 WILSON AVE		RAIFORD	NC	2816		NO	
FORTE, HERMANO M A	CANOLA M		100 WILSON AVE		RAIFORD	NC	2816		NO	
BARTLEBURN, STEPHANE O			116 WILSON AVE		RAIFORD	NC	2816		NO	
WATKINS, JASON A	CUNHA		100 HOLY HELL FARM RD		WEAHE	NC	2861		NO	
ANDERSON, JAMES M A	DAVA		10 WOBURN RD		RAIFORD	NC	2816		NO	
COOPER, WILLIAM B			7 HOLLOW MOORE RD		RAIFORD	NC	2816		NO	
DUBE, CHESTER-GEN RICHARD	KERRIN WAGLE		123 WILSON AVE		RAIFORD	NC	2816		NO	
SCOUTS, MELISSA F A	PARRELLA, NICHOLAS J		104 WILSON AVE		RAIFORD	NC	2816		NO	
FRAZEE, STEPHEN A	JOSEPH D JR		501 WALNUT DR		RAIFORD	NC	2808		NO	
GARRETT, WYNDA L			15 WOBURN RD		RAIFORD	NC	2816		NO	
JOHNSON, WENDY CATHERINE A	DAVID BRUCE A		JOHNSON, DAVID ANDREW		RAIFORD	NC	2816		NO	
GOOK, SCOTT W A	KATHLEEN P		4 LINDEN AVE		RAIFORD	NC	2816		NO	
ADAMS, BRUCE A	CONNOR, JENNIFER		22 HORSFORD AVE		RAIFORD	NC	2816		NO	
MORRIS, JOHN ALFRED ESTOR			8 HORSFORD AVE		RAIFORD	NC	2816		NO	
HAYDO, KAYWAL L A	GREENE, RYAN R		128 WILSON AVE		RAIFORD	NC	2816		NO	
FACONDA, LAUREN S A	DAN-ANNE A		34 HORSFORD AVE		RAIFORD	NC	2816		NO	
LACREY, SHARLOT LHM A	REVOCABLE LIVING TRUST AGREEMENT		OF SHARLOT LACREY		RAIFORD	NC	2816		NO	
STYVA, EVELYN H-TR A	EVELYN H STYVA LIVING TRUST		4 LINDEN PLACE		RAIFORD	NC	2808		NO	
SHOULS, MICHAEL R A	OLIVE LESLIE A		17 HORSFORD AVE		RAIFORD	NC	2816		NO	
DYER, JEREMY A A	JLIE L		101 WILSON AVE		RAIFORD	NC	2816		NO	
CAPPALICCO, ROBERT E & BIANCALC	CAPPALICCO, RICHARD E JR W/LIFE		CAPPALICCO, RICHARD E & CAROL L		RAIFORD	NC	2816		NO	
LEDBETTER, JOSEPH JR A	MARY H		4 HOLLOW MOORE RD		RAIFORD	NC	2816		NO	
PATON, RONALD W A	DONNA M		8 DUNCAN RD		RAIFORD	NC	2816		NO	
WOOD, CAROLYN L-TR	CAROLYN L WOOD REV TRUST		128 WILSON AVE		RAIFORD	NC	2816		NO	
KUZMAN, ROBERT A A	JO-ANN		103 WILSON AVE		RAIFORD	NC	2816		NO	

# Fortes Garage

109 Wilson Ave., East Providence, RI 02916



### DRAWING INDEX

Sheet Number	Sheet Name
001	Cover
002	Site Plan
003	Foundation
004	Structural
005	Interior
006	Exterior
007	MEP
008	Final

### BUILDING CODE INFORMATION

PROJECT: FORTES RESIDENCE - DETACHED GARAGE NEW  
 CONSTRUCTION: FORTES RESIDENCE - DETACHED GARAGE STRUCTURE  
 FLOORING: FORTES RESIDENCE - DETACHED GARAGE STRUCTURE  
 REPAIRS AND EXPAND EXISTING FOUNDATION TO ACCOMMODATE  
 PROPOSED GARAGE

### NOTING OVERVIEW

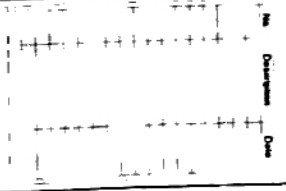
The drawing was prepared in accordance with the Building Code of the City of East Providence, Rhode Island, and the International Building Code, 2018 Edition, as amended. The drawing was prepared by the architect and the engineer.

SECTION	DATE	BY	CHK
FOUNDATION	11-03-2023	CHG	CHG
STRUCTURAL	11-03-2023	CHG	CHG
EXTERIOR	11-03-2023	CHG	CHG
INTERIOR	11-03-2023	CHG	CHG
MEP	11-03-2023	CHG	CHG
FINAL	11-03-2023	CHG	CHG



109-1148' HOUSING PERMITS

3 1" = 20'-0"



Fortes Garage  
 109 Wilson Ave, East Providence, RI 02916

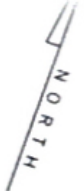
### Cover

Project Number	(2001)
Project Name	Permit
Date	11-03-2023
Drawn By	CHG
Checked By	CHG

G-0.0

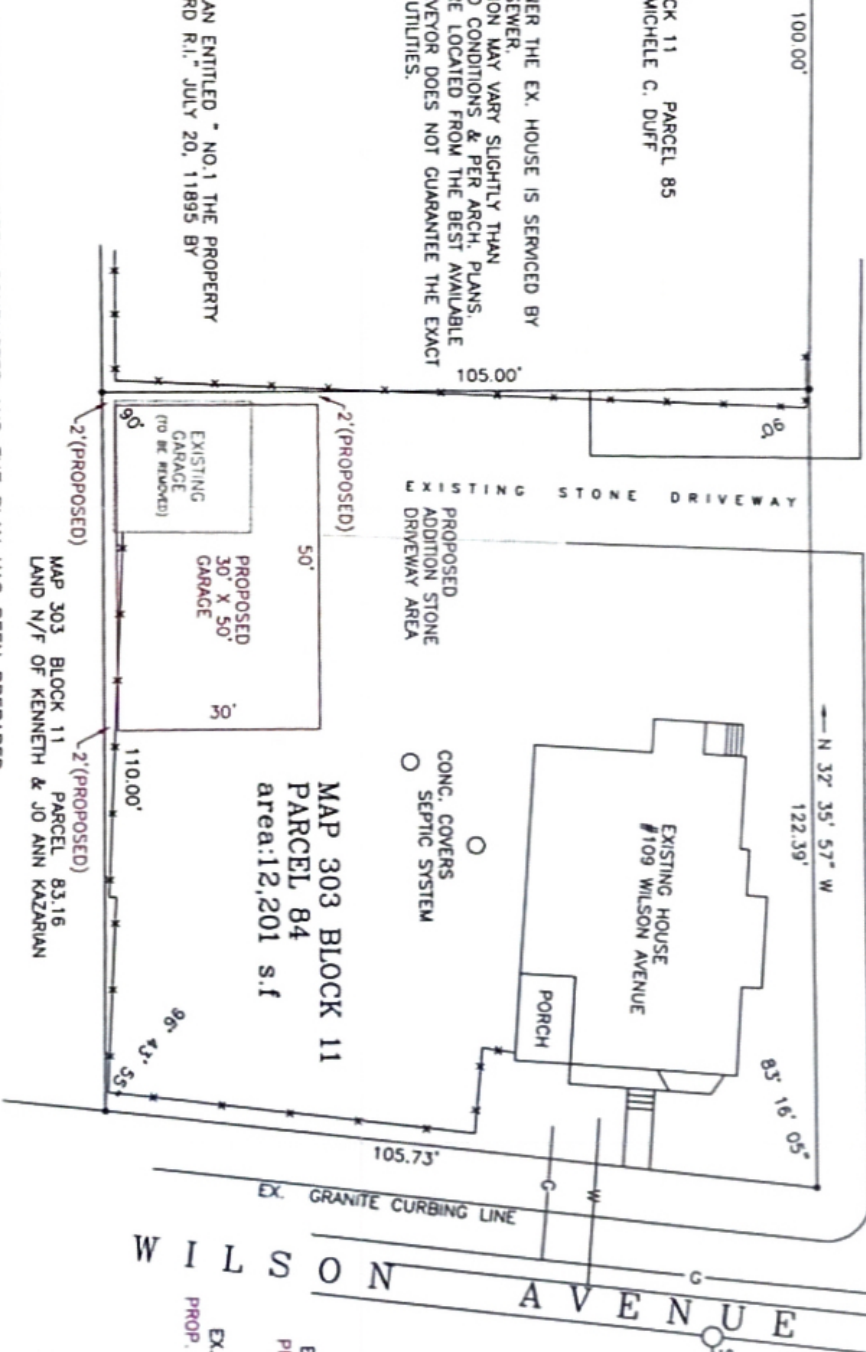
As Indicated

109-1148' HOUSING PERMITS



# HORSFORD AVENUE

MAP 303 BLOCK 11 PARCEL 85  
LAND N/F OF MICHELE C. DUFF



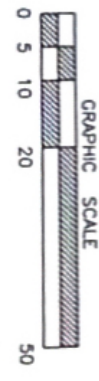
MAP 303 BLOCK 11  
PARCEL 84  
area: 12,201 s.f.

MAP 303 BLOCK 11 PARCEL 83.16  
LAND N/F OF KENNETH & JO ANN KAZARIAN

- LEGEND**
- W- WATER LINE
  - G- GAS LINE
  - S- SEWER LINE
  - IRON ROD (set)
  - S.M.H. SEWER MANHOLE
  - G.B. GRANITE BOUND
  - D.H. DRILL HOLE

- ZONING**
- R-3 ZONE MIN. LOT AREA : 7500 S.F.
  - MIN. LOT WIDTH : 75'
  - MIN. LOT DEPTH : 100'
  - BUILDING SETBACKS
  - FRONT : 20'
  - SIDE : 15'
  - REAR : 25'
  - MAX. BUILDING COVERAGE : 25%
  - MAX. IMPERVIOUS COVERAGE : 45%

- MAX BLDG COVERAGE(25%)  
EX. BUILDING COVERAGE 2133/12,201=17.5%
- PROP. BUILDING COVERAGE 3225/12,201=26.5%
- MAX. IMPERVIOUS COVERAGE(45%)  
EX. IMPERVIOUS COVERAGE=2393/12,201=19.6%
- PROP. IMPERVIOUS COVERAGE = 3485/12,201=28.6%



## SITE PLAN

for  
**Hernando Fortes**

109 WILSON AVENUE MAP 303 BLOCK 11 PARCEL 84 EAST PROVIDENCE R.I.  
SCALE 1"=20' DATE : 1/29/24 DWN BY: JUB DWG # 190604-701

**RECITIFICATION**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON TYPE OF BOUNDARY SURVEY:  
LIMITED CONTENT BOUNDARY SURVEY  
MEASUREMENT SPECIFICATION  
CLASS 1 STANDARD

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO SHOW THE PROPOSED GARAGE IN RELATION TO THE SURVEYED BOUNDARY LINES.



JOHN J. BARKER, JR. PLS #1885  
C.O.A # LS-A302

NOTES

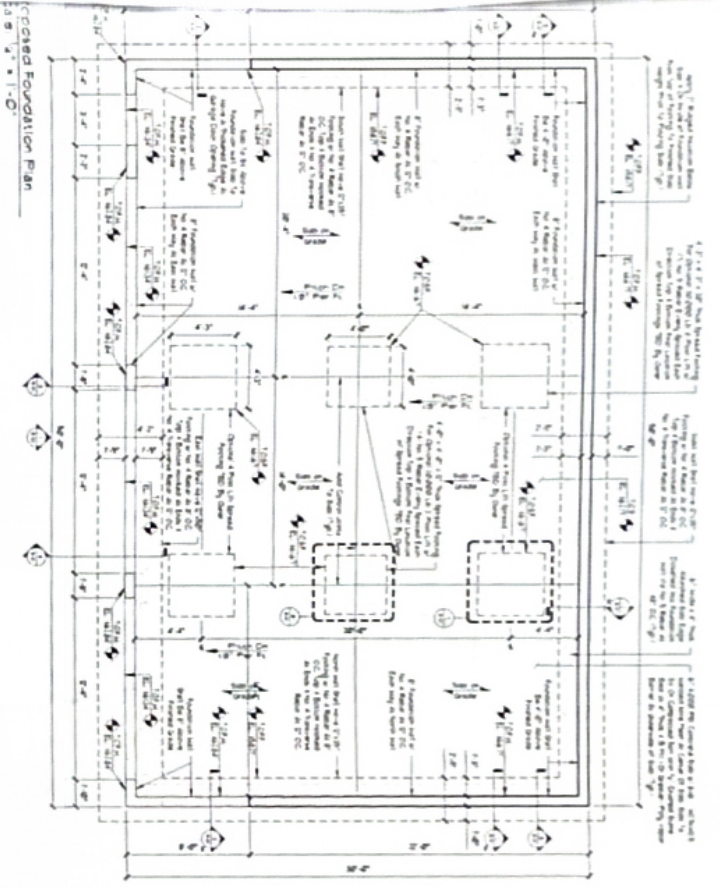
ACCORDING TO THE OWNER THE EX. HOUSE IS SERVICED BY SEPTIC SYSTEM & NOT SEWER.

THE SIZE OF THE ADDITION MAY VARY SLIGHTLY THAN SHOWN DUE TO THE FIELD CONDITIONS & PER ARCH. PLANS.

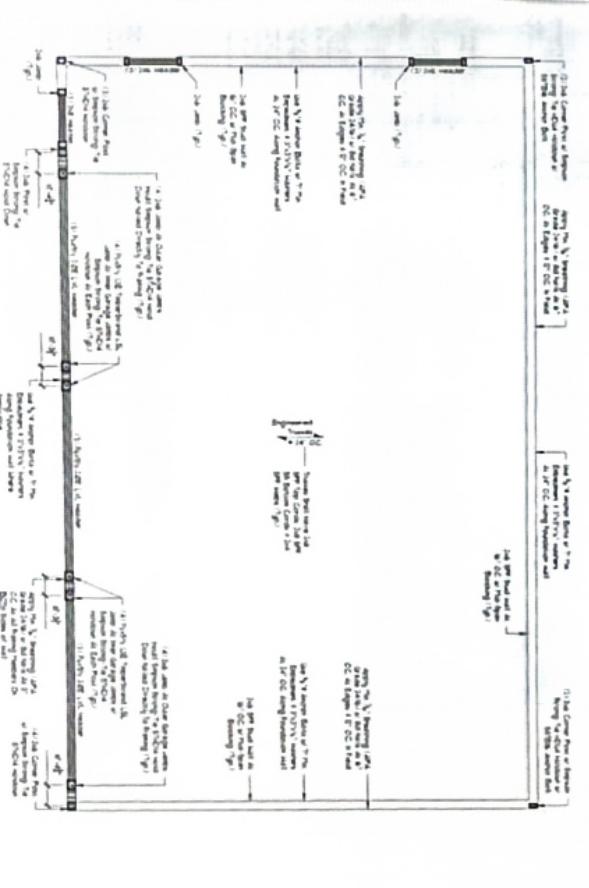
ALL UTILITIES SHOWN ARE LOCATED FROM THE BEST AVAILABLE INFORMATION AND THE SURVEYOR DOES NOT GUARANTEE THE EXACT LOCATION OF ANY OF THE UTILITIES.

REFERENCE

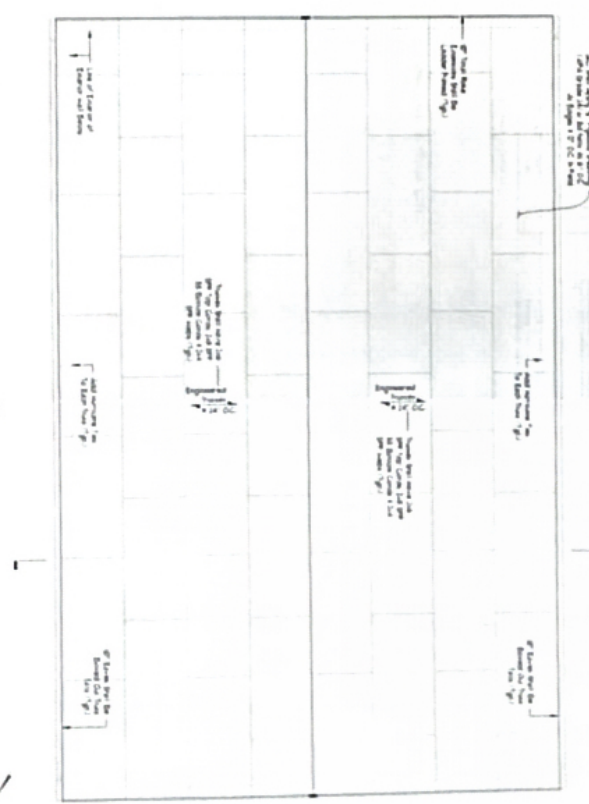
PLANS FOR "ADDITION OF GARAGE TO EX. HOUSE AT 109 WILSON AVENUE, PROVIDENCE, R.I." JULY 20, 11895 BY BENJAMIN WILSON RUMFORD R.I. FERNAN ENGINEERING.



Proposed Foundation Plan  
Scale: 1/8" = 1'-0"



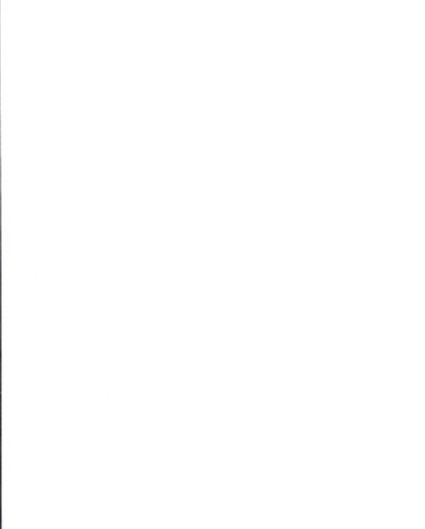
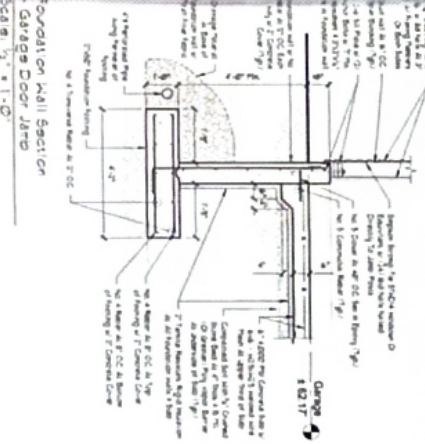
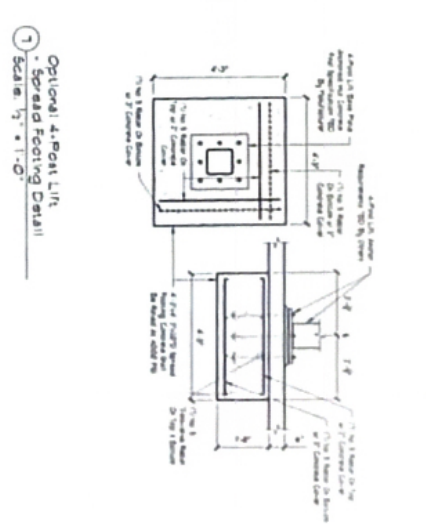
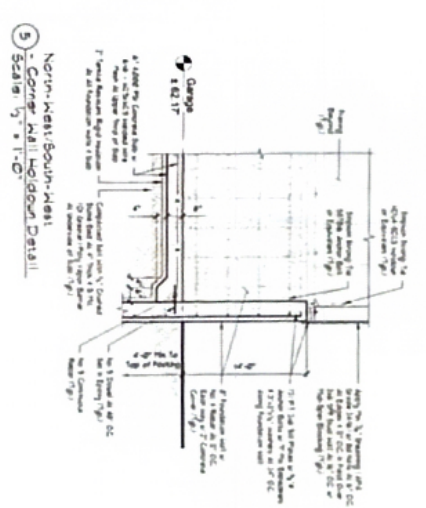
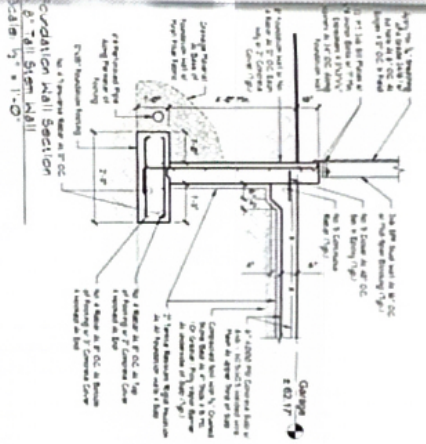
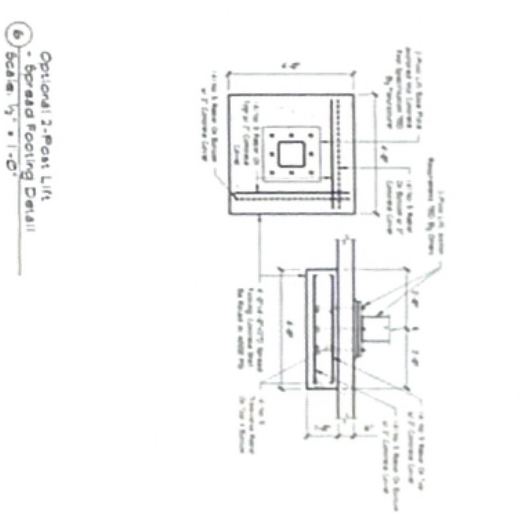
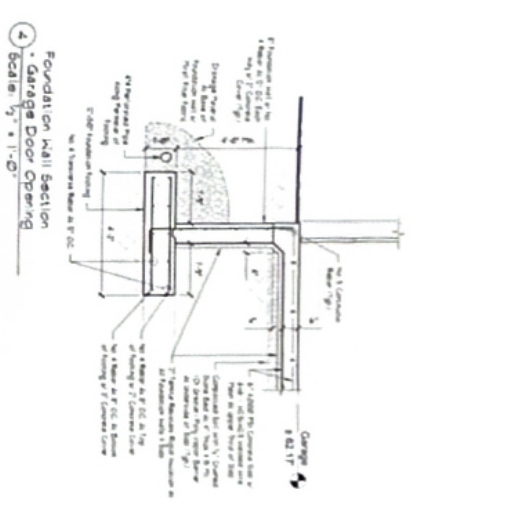
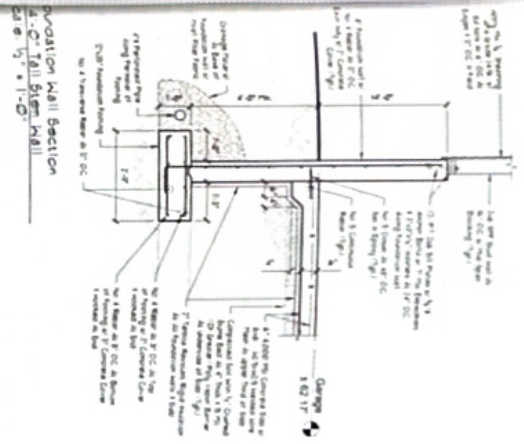
Proposed First Floor Framing Plan  
Scale: 1/8" = 1'-0"



Proposed Roof Framing Plan  
Scale: 1/8" = 1'-0"

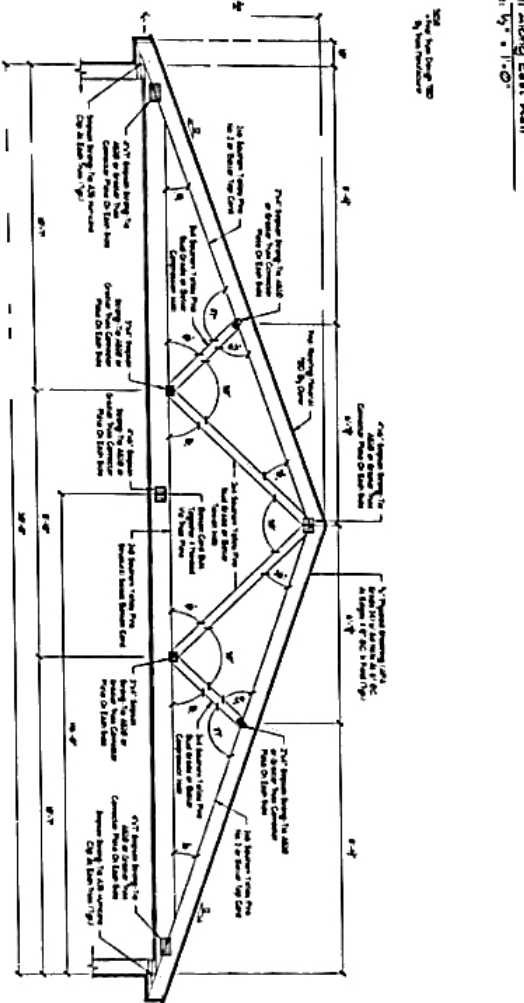
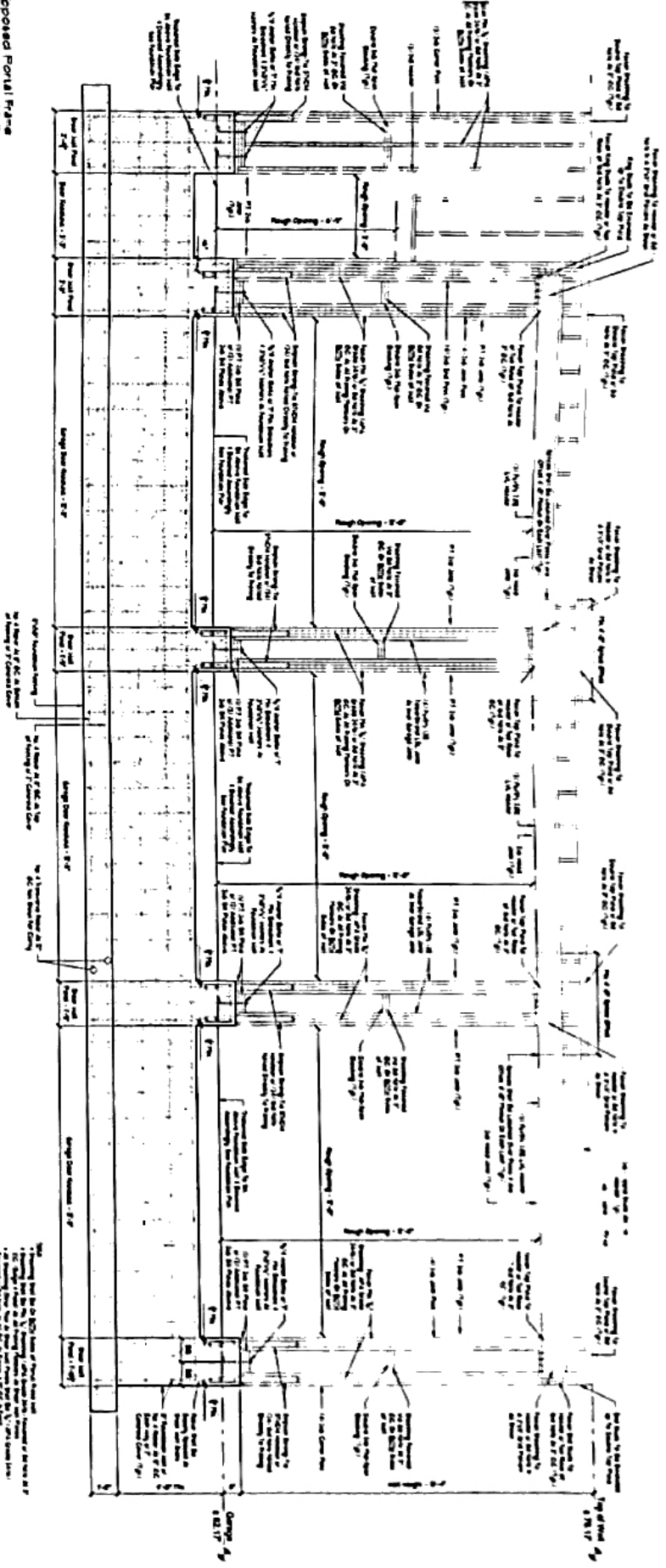
Notes:  
1. All framing shall be in accordance with the International Building Code, 2006 Edition, unless otherwise indicated.  
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10. All framing shall be in accordance with the International Building Code, 2006 Edition, unless otherwise indicated.

<b>Canida &amp; Hermoso Fortes</b> 109 Wilson Avenue Fortes Garage At 109 Wilson Avenue Fort Worth, Texas 76104		S-1.1 Proposed Foundation, First Floor & Roof Framing Plans
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<p>Fortes Garage At 109 Wilson Avenue 1st Floor, Richmond, British Columbia V6V 1R8</p>	
<p>Camilla &amp; Hermann Fortes 1887 West 10th Street Richmond, British Columbia V6V 1R8</p>	
<p>Proposed Foundation Details</p>	
<p>S-2.1</p>	





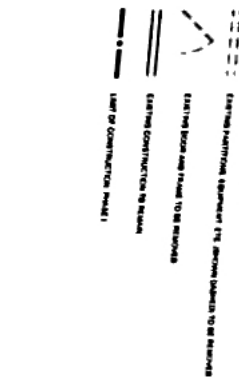
Notes:

1. All dimensions are in feet and inches.
2. All materials are to be of standard quality.
3. All connections are to be made in accordance with the AISC Specification for Structural Steel Buildings.
4. All steel members are to be painted with a rust-inhibiting primer.
5. All steel members are to be galvanized.
6. All steel members are to be protected against fire.
7. All steel members are to be protected against corrosion.
8. All steel members are to be protected against weathering.
9. All steel members are to be protected against acid rain.
10. All steel members are to be protected against salt crystallization.

**DEMOLITION NOTES**

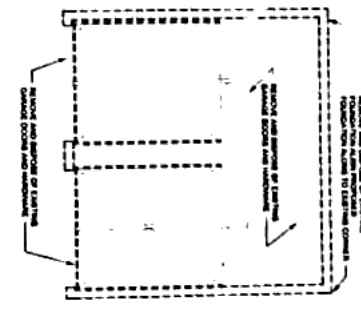
1. GENERAL: SEE ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS, AND BUILDING DEPARTMENT AND CONSTRUCTION PERMITS.
2. DEMOLITION: DEMOLITION SHALL BE IN ACCORDANCE WITH THE DEMOLITION ACT AND ALL APPLICABLE REGULATIONS AND PERMITS.
3. SAFETY: ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE DEMOLITION ACT AND ALL APPLICABLE REGULATIONS AND PERMITS.
4. ASBESTOS: ALL ASBESTOS SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE ASBESTOS ACT AND ALL APPLICABLE REGULATIONS AND PERMITS.
5. LEAD: ALL LEAD SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE LEAD ACT AND ALL APPLICABLE REGULATIONS AND PERMITS.
6. HAZARDOUS MATERIALS: ALL HAZARDOUS MATERIALS SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE HAZARDOUS MATERIALS ACT AND ALL APPLICABLE REGULATIONS AND PERMITS.
7. ELECTRICAL: ALL ELECTRICAL SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE ELECTRICAL CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.
8. PLUMBING: ALL PLUMBING SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE PLUMBING CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.
9. MECHANICAL: ALL MECHANICAL SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE MECHANICAL CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.
10. CONSTRUCTION: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.

**DEMOLITION LEGEND**



1. GENERAL: SEE ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS, AND BUILDING DEPARTMENT AND CONSTRUCTION PERMITS.
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5. LEAD: ALL LEAD SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE LEAD ACT AND ALL APPLICABLE REGULATIONS AND PERMITS.
6. HAZARDOUS MATERIALS: ALL HAZARDOUS MATERIALS SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE HAZARDOUS MATERIALS ACT AND ALL APPLICABLE REGULATIONS AND PERMITS.
7. ELECTRICAL: ALL ELECTRICAL SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE ELECTRICAL CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.
8. PLUMBING: ALL PLUMBING SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE PLUMBING CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.
9. MECHANICAL: ALL MECHANICAL SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE MECHANICAL CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.
10. CONSTRUCTION: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.
11. STRUCTURAL: ALL STRUCTURAL SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE STRUCTURAL CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.
12. ROOFING: ALL ROOFING SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE ROOFING CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.
13. INTERIORS: ALL INTERIORS SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE INTERIORS CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.
14. EXTERIORS: ALL EXTERIORS SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE EXTERIORS CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.
15. UTILITIES: ALL UTILITIES SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE UTILITIES CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.
16. ENVIRONMENTAL: ALL ENVIRONMENTAL SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE ENVIRONMENTAL CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.
17. HISTORICAL: ALL HISTORICAL SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE HISTORICAL CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.
18. MONUMENTS: ALL MONUMENTS SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE MONUMENTS CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.
19. UTILITIES: ALL UTILITIES SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE UTILITIES CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.
20. ENVIRONMENTAL: ALL ENVIRONMENTAL SHALL BE REMOVED AND HANDLED IN ACCORDANCE WITH THE ENVIRONMENTAL CODE AND ALL APPLICABLE REGULATIONS AND PERMITS.

Demolition Plan  
Sheet 1 of 1



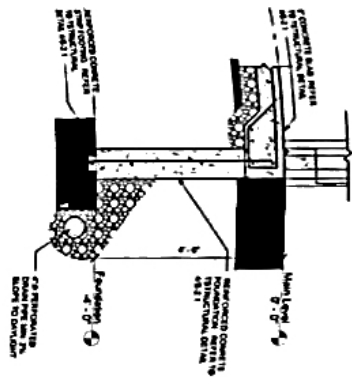
**Fortis Garage**  
153 Wilson Ave., East Providence  
RI 02918

**Demolition Plan**

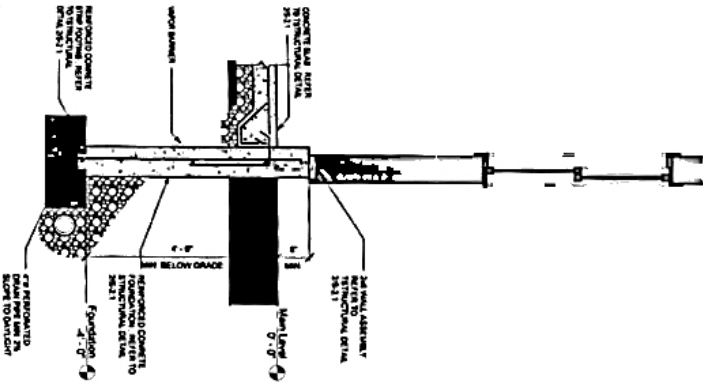
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 Address: Fortis Garage  
 Date: 11-03-2023  
 Drawn by: [Name] / Checked by: [Name]

**D-1.0**

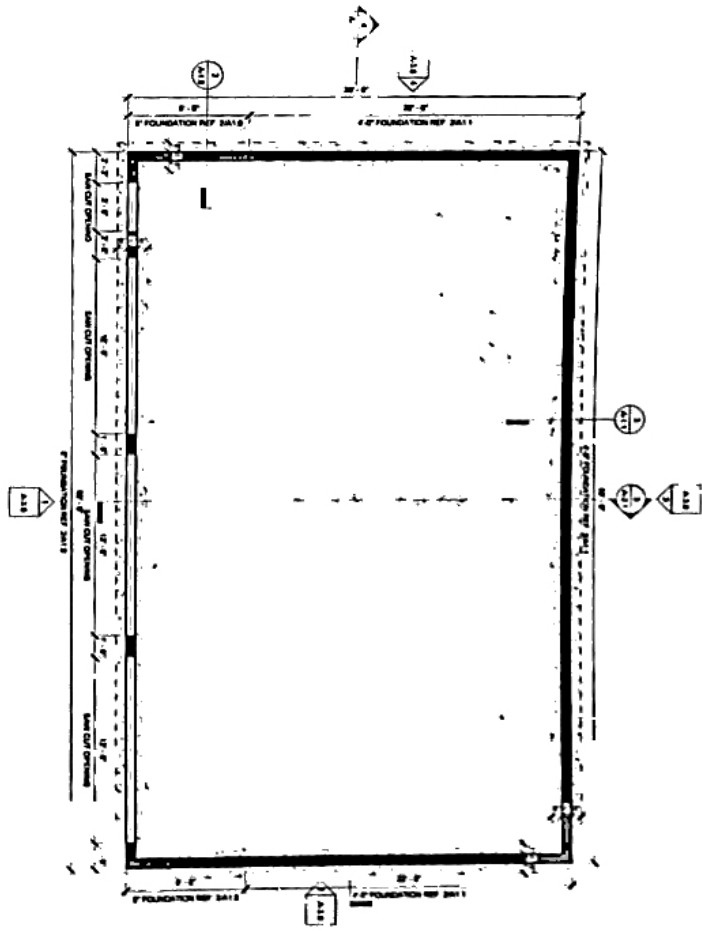
Scale: 1/4" = 1'-0"



③ Section Detail - Garage Door E-INT.  
1/4" = 1'-0"



④ 1/8" Garage Assembly @ E-F Foundation  
1/4" = 1'-0"

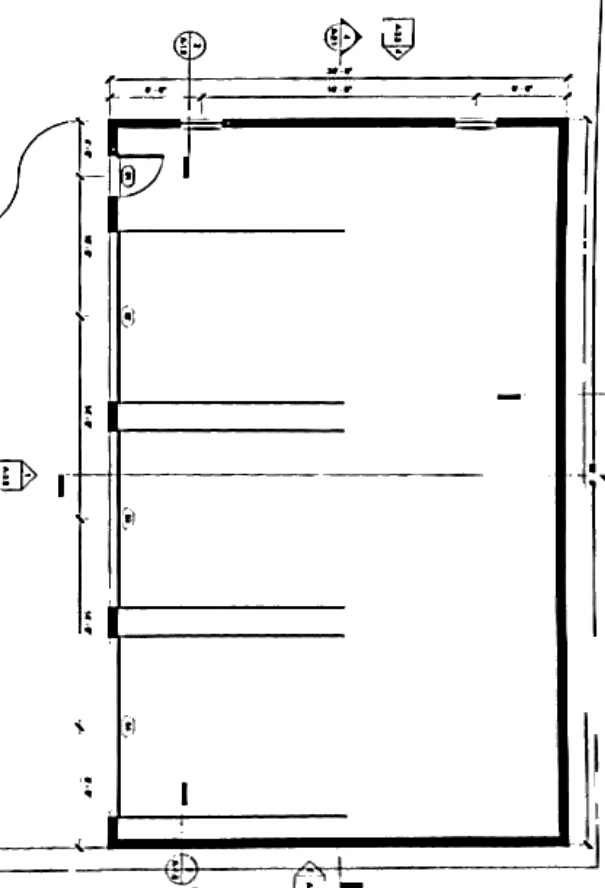
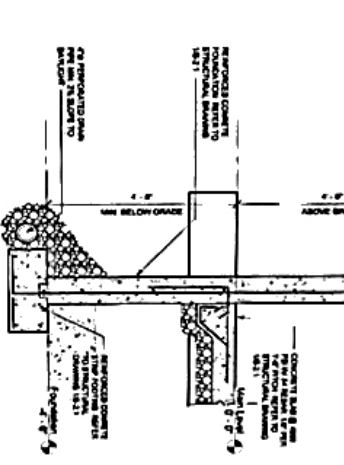
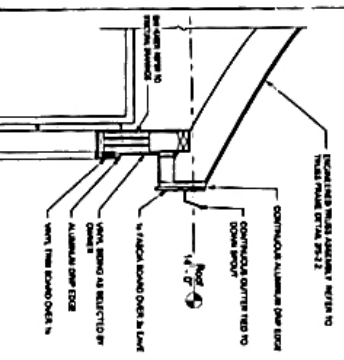
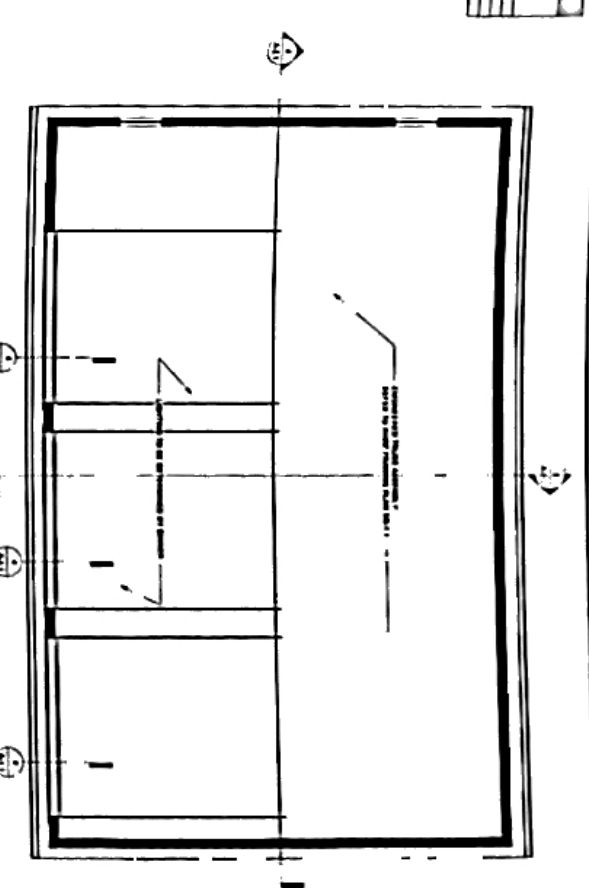
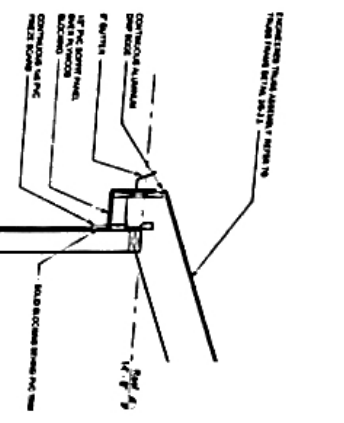
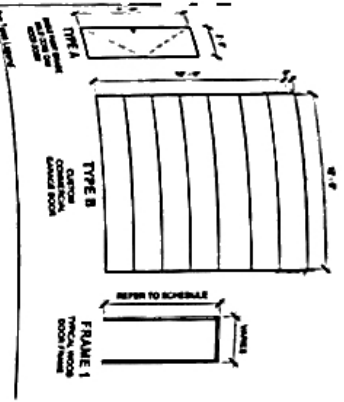


① Foundation  
1/4" = 1'-0"

<p><b>Forbes Garage</b> 100 Western Ave., East Providence, RI 02916</p>		<p>No. Description Date</p>	
<p><b>Foundation Plan</b></p>		<p>1/28/11</p>	
<p>Project Number: 12081</p>	<p>Sheet Name: F-100</p>	<p>Date: 11-02-2011</p>	<p>Author: A-10</p>
<p>Checked by: C-100</p>	<p>Scale: As Indicated</p>	<p>Project: A-1.0</p>	<p>Sheet: A-10</p>

DOOR & WINDOW SCHEDULE										
NO.	Description	Material	Finish	Frame	Finish	Hardware	Glazing	Notes	Quantity	Remarks
1	6'0" x 8'0" Double Hung	Aluminum	White	Aluminum	White	None	None			
2	6'0" x 8'0" Single Hung	Aluminum	White	Aluminum	White	None	None			
3	6'0" x 8'0" Sliding Glass	Aluminum	White	Aluminum	White	None	None			
4	6'0" x 8'0" Casement	Aluminum	White	Aluminum	White	None	None			
5	6'0" x 8'0" Storm Door	Aluminum	White	Aluminum	White	None	None			
6	6'0" x 8'0" Transoms	Aluminum	White	Aluminum	White	None	None			
7	6'0" x 8'0" Jamb	Aluminum	White	Aluminum	White	None	None			
8	6'0" x 8'0" Sill	Aluminum	White	Aluminum	White	None	None			
9	6'0" x 8'0" Stop	Aluminum	White	Aluminum	White	None	None			
10	6'0" x 8'0" Balance	Aluminum	White	Aluminum	White	None	None			

1. All window and door units shall be installed in accordance with the manufacturer's instructions. 2. All window and door units shall be installed in accordance with the manufacturer's instructions. 3. All window and door units shall be installed in accordance with the manufacturer's instructions.



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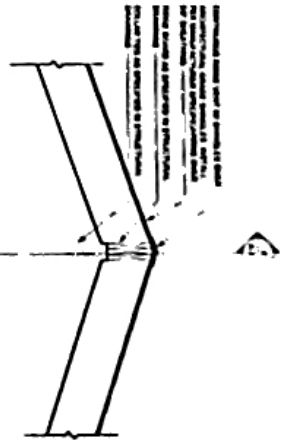
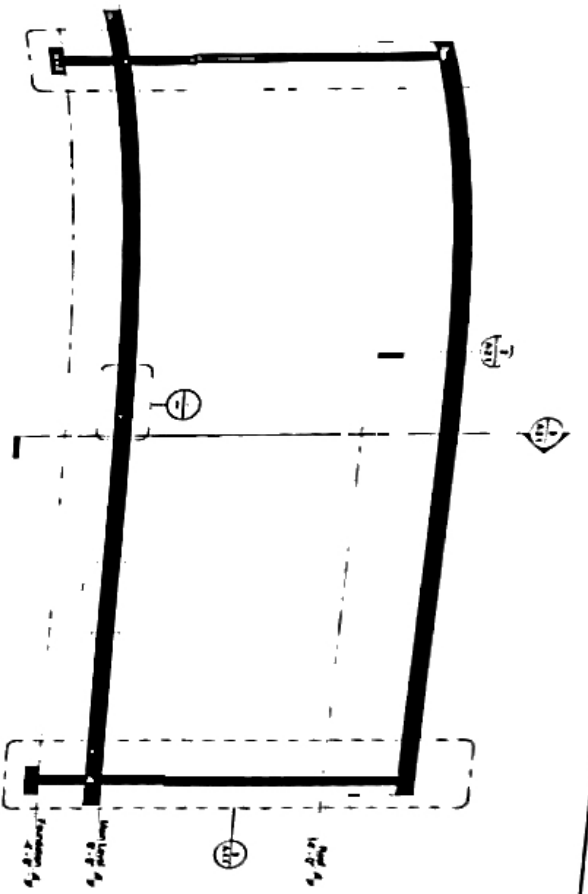
1. All window and door units shall be installed in accordance with the manufacturer's instructions. 2. All window and door units shall be installed in accordance with the manufacturer's instructions. 3. All window and door units shall be installed in accordance with the manufacturer's instructions.

**Forbes Garage**  
 100 West 1st Street  
 Fort Worth, TX 76102

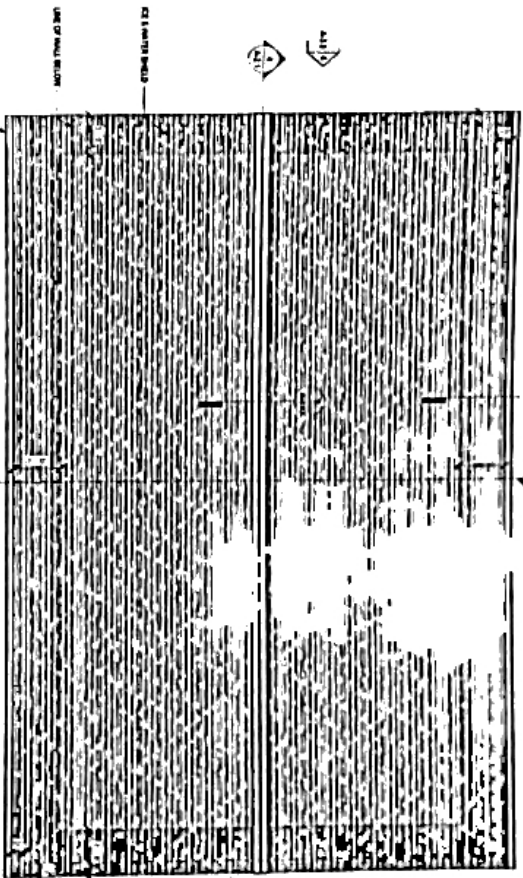
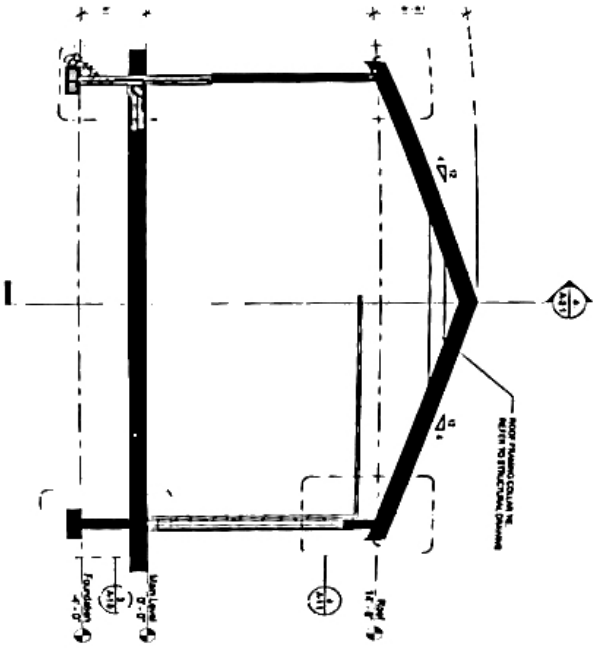
**Construction Floor Plan, RCP and Typical Details**  
 Project No. 11-00-003  
 Date 11-00-003  
 Drawn by [Name]  
 Checked by [Name]

**A-1.1**

As Indicated



③ Roof Joint and Gable Top Detail



USE OF WALL SLIM  
 BUTTS AND CORNER

① Roof Slab

No.	Description	Date

Fortis Garage  
 100 Victoria Ave. East  
 Richmond, BC V6V 1Y9

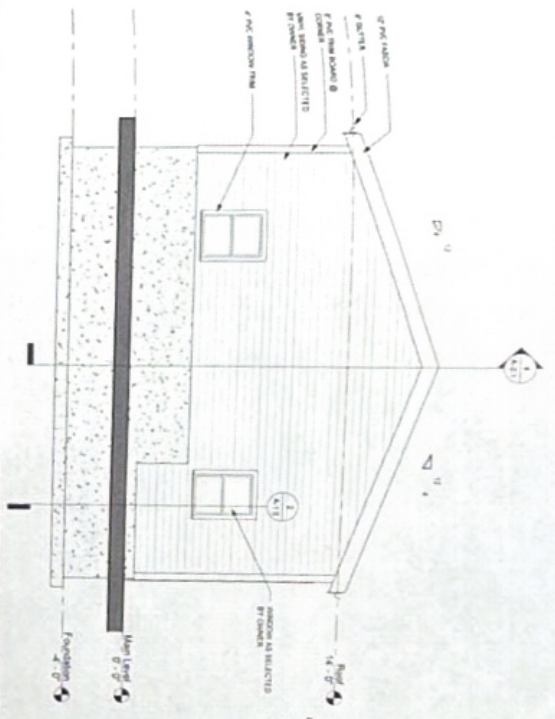
**Roof Plan & Building Sections**

Project No. 12011  
 Project Name  
 Date 11.09.2013  
 Drawn by  
 Checked by  
 Designer

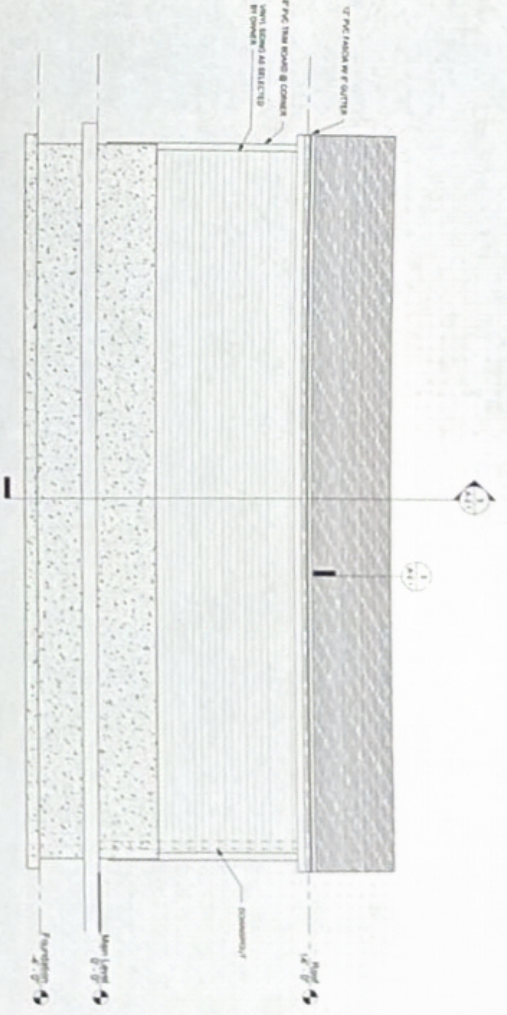
**A-2.1**

As Indicated

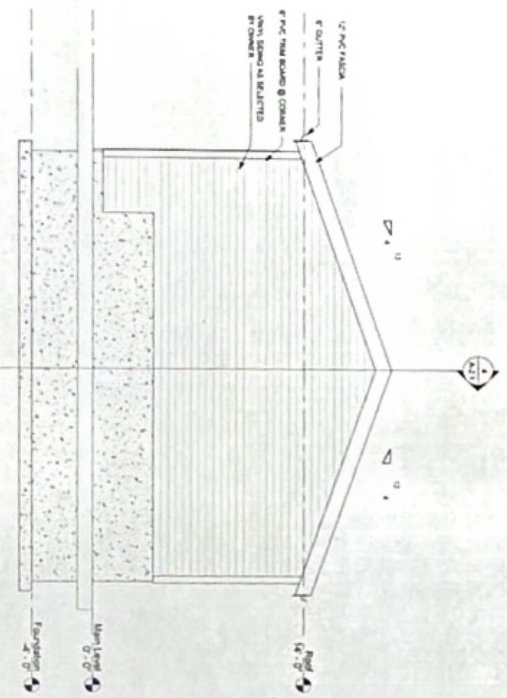
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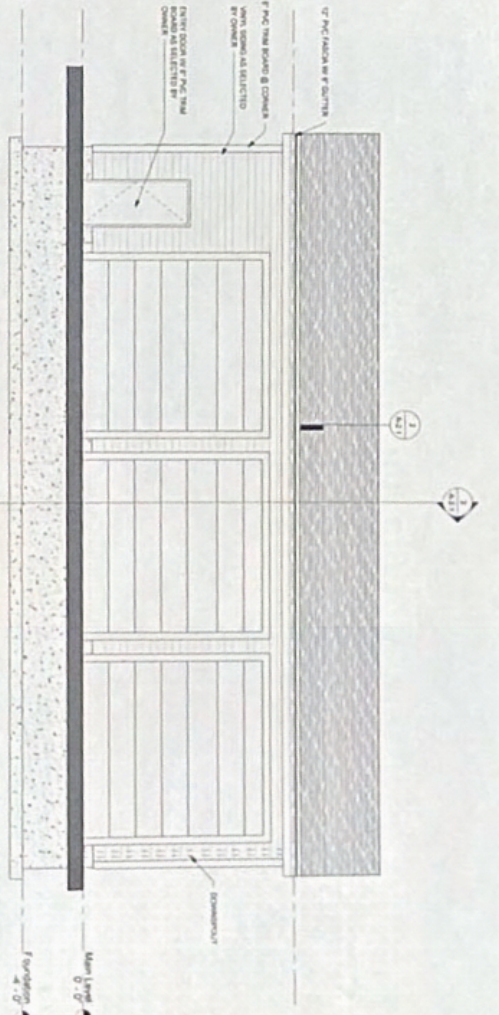
2 South Elevation  
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3 West Elevation  
1/4" = 1'-0"



2 North Elevation  
1/4" = 1'-0"



1 East Elevation  
1/4" = 1'-0"

No.	Description	Date

<p><b>Fortas Garage</b> 100 Fortas Lane, Fort Worth, TX 76103</p>	
Project Number:	12071
Project Name:	Permit
Date:	11.02.2023
Drawn By:	Adrian
Checked By:	Chandler

**Exterior Elevations**

**A-3.0**

Scale: 1/4" = 1'-0"

DATE PLOTTED: 11/02/2023 10:00:00 AM