

East Providence
Zoning Board of Review

DIMENSIONAL VARIANCE FORM
(Ref. 19-47)

File # _____
Date of Filing _____
Received By _____
Date of Hearing _____
Action _____
Recorded _____ Bk _____ Pg _____

This form must be completed in full prior to being considered by the Zoning Board of Review.

PHONE NUMBER: Wayne Fortin
401-374-2950

1. LOCATION OF PROPERTY 160 Worcester AVENUE/STREET
MAP 413 BLOCK 4 PARCEL 7 ZONING DISTRICT R4

2. OWNER Wayne Fortin
ADDRESS 160 Worcester Avenue
DATE OF PURCHASE _____
PROPOSED LESSEE/PURCHASER _____
ADDRESS _____
ATTORNEY Michael Levinson, suite 1
ADDRESS 1543 Fall River Ave Seekonk, MA 02771
REPRESENTING Wayne Fortin

3. DIMENSIONS OF SITE 100 110 11000 Parcel 7
Width Depth Area (Sq. Ft.)

LIST OF ALL EXISTING BUILDINGS AND USES:

Use	Building Height	Area (Sq. Ft.) (Building Footprint)	Type of Construction
(1) <u>Living</u>	<u>31.5</u>	<u>840 Sq</u>	<u>wood frame</u>
(2) <u>Parcel 7</u>	<u>2 family</u>	<u>2 1/2 story</u>	<u>840 Sq ft</u>
(3) _____	_____	_____	_____

4. LIST OF PROPOSED CONSTRUCTION AND USES:

Use	No. of Height Stories	Basement Yes/No	Area (Sq. Ft.) (Bldg Footprint)	Multi-Family No. of Bedrooms/Unit	Type of Construction
(1) <u>Living</u>	<u>34</u>	<u>3</u>	<u>Yes</u>	<u>840 Sq</u>	<u>3 bedrooms wood frame</u>
(2) <u>Parcel 7</u>	<u>Raise ceiling</u>	<u>Height</u>	<u>3 story</u>	<u>840 Sq ft</u>	<u>3 bedrooms wood</u>
(3) _____	_____	_____	_____	_____	_____

(Over)

5. THIS VARIANCE APPLICATION RELATES TO:

- Principal Building (s) Accessory Building Lot Area

CHECK ONE OR MORE:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Setback Requirement | <input type="checkbox"/> Number of Dwelling Units |
| <input type="checkbox"/> Lot/Building Coverage | <input type="checkbox"/> Floor Area |
| <input type="checkbox"/> Landscaping | <input checked="" type="checkbox"/> Height |
| <input type="checkbox"/> Amount Parking or Loading | <input type="checkbox"/> Signs/Billboards |
| <input type="checkbox"/> Location/Dimensions of Parking or Loading | <input type="checkbox"/> Other: _____ |
| <input checked="" type="checkbox"/> Extension of Nonconforming Structure | |

6. VARIANCE SOUGHT: List each applicable section of the Zoning Ordinance for which Variance is sought plus a brief description of the nature of the variance (s):

Section Number	Description Variance
① 19-136(C) AND 19-145	EXCEED FRONT-YARD SETBACK - WORCESTER AVENUE
② 19-136(C) AND 19-145	EXCEED FRONT-YARD SETBACK - COVE STREET
③ 19-145	EXCEED MAXIMUM NUMBER OF STORIES

7. DEVIATION FROM REQUIRED STANDARDS

Section Number	Ordinance Requirement	Proposed
① 19-136(C) 19-145	18- FEET	10.6- FEET
② 19-136(C) & 19-145	18- FEET	18- FEET
③ 19-145	2- STORIES	3- STORIES

8. DESCRIBE THE UNIQUE CHARACTERISTICS OR OTHER PECULIARITIES OF THE PROPERTY WHICH CREATE HARDSHIP.

NOTE: PLANS ACTED UPON BY THE BOARD BECOME INCORPORATED AS PART OF THE DECISION AND ARE FINAL.

I, the undersigned, swear that all information given above to the best of my knowledge is complete and correct.

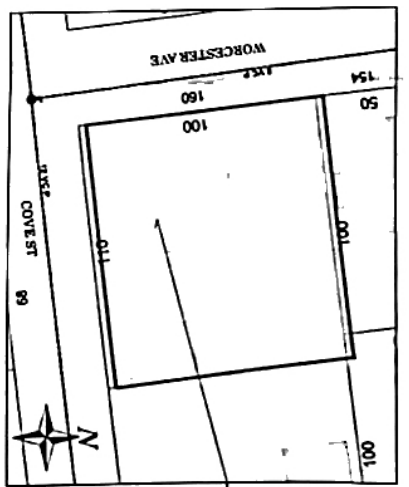
OWNER(S) SIGNATURE: Wayne [Signature] DATE: 8/28/23

Agent/Attorney _____ Address _____

FORTIN RESIDENCE
 PROPOSED RENOVATIONS
 150 WORCESTER STREET
 RIVERSIDE, RI 02915

APPLICABLE CODE: IRC 2015

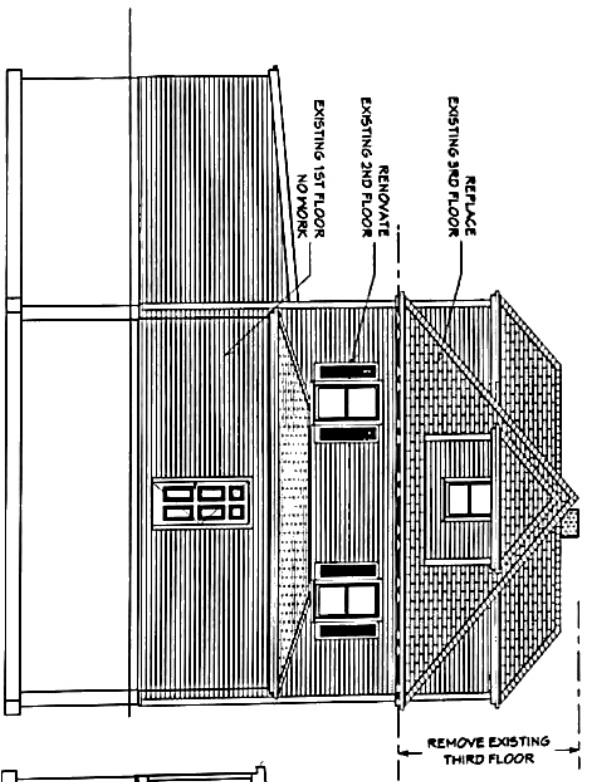
GENERAL NOTES
 *CALL DIG SITE AND ANY UTILITIES NECESSARY PRIOR TO ANY EXCAVATION
 *ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION
 *PRE-ENGINEERED BEAM, JOISTS & TRUSS SPECIFICATIONS BY OTHER
 *ALL WORKING SHALL CONFORM TO LOCAL BUILDING CODES
 *PLUMBING, HVAC, ELECTRICAL & MECHANICAL SPECIFICATIONS BY OTHER
 *KITCHEN CABINET & OTHER CABINETRY SPECIFICATIONS BY OTHER
 *FURNITURE SIZE & SELECTION BY OTHER
 *ALL INSPECTIONS MUST BE MADE AS REQUIRED
 *DRAWINGS ARE TO COMMUNICATE DESIGN INTENT



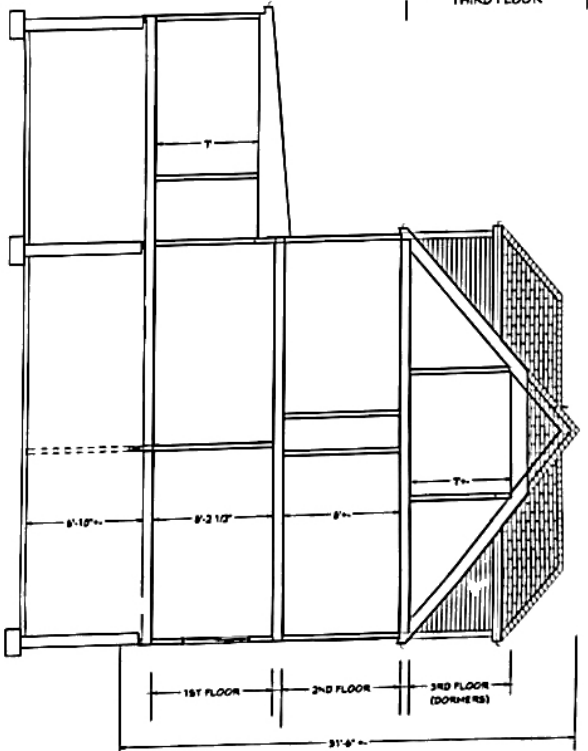
LOCUS
 NOT TO SCALE

EXISTING HOUSE
 PROPOSED 2ND & 3RD FLOOR RENOVATIONS

NO.	REVISION	DATE
1	REVISION TAKE OFF	
2	DESCRIPTIVE	
3	ADD BASEMENT & FIRST FLOOR PLANS / EXISTING BUILDING SECTION	6/19/2023



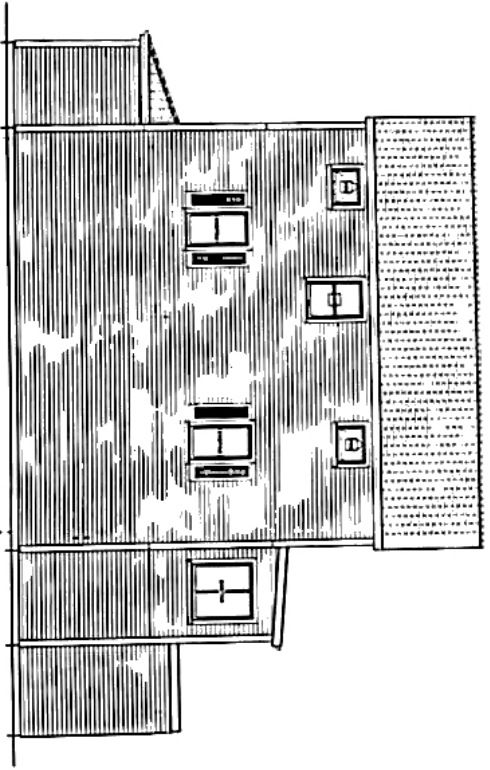
EXISTING FRONT ELEVATION
 3/16"=1'-0"



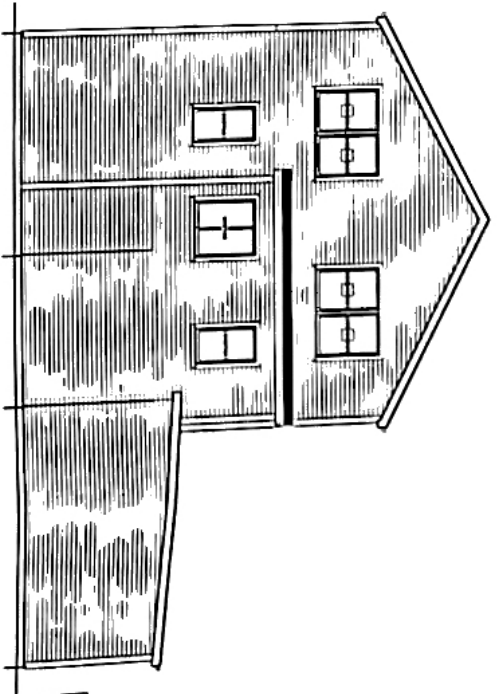
EXISTING BUILDING SECTION
 3/16"=1'-0"

ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION

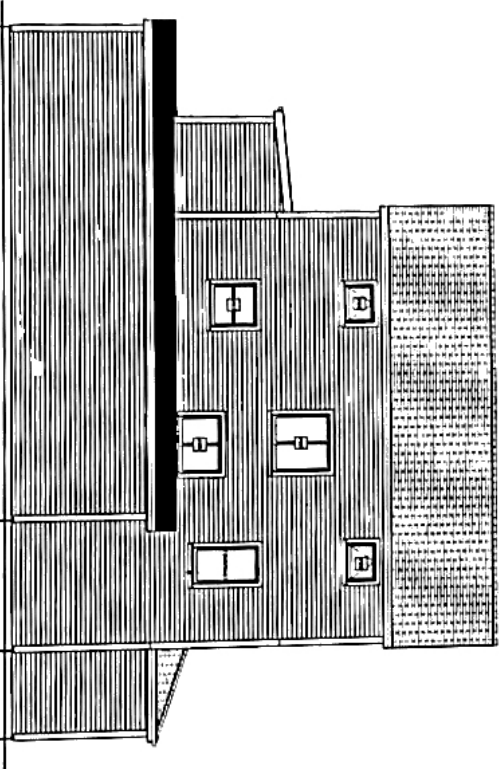
<p>NOTIFICATION</p>	<p>DATE 6/19/2023</p>	<p>PROJECT NAME</p>	<p>SCALE AS NOTED</p>	<p>SHEET NUMBER 1 / 7</p>
<p>PREPARED BY NANCY FORTIN NANCY@NFD.COM 609.261.1212</p>	<p>DATE 6/19/2023</p>	<p>PROJECT NAME</p>	<p>SCALE AS NOTED</p>	<p>SHEET NUMBER 1 / 7</p>
<p>DESIGNED BY NANCY FORTIN NANCY@NFD.COM 609.261.1212</p>	<p>DATE 6/19/2023</p>	<p>PROJECT NAME</p>	<p>SCALE AS NOTED</p>	<p>SHEET NUMBER 1 / 7</p>
<p>PROJECT NAME</p>	<p>DATE 6/19/2023</p>	<p>PROJECT NAME</p>	<p>SCALE AS NOTED</p>	<p>SHEET NUMBER 1 / 7</p>



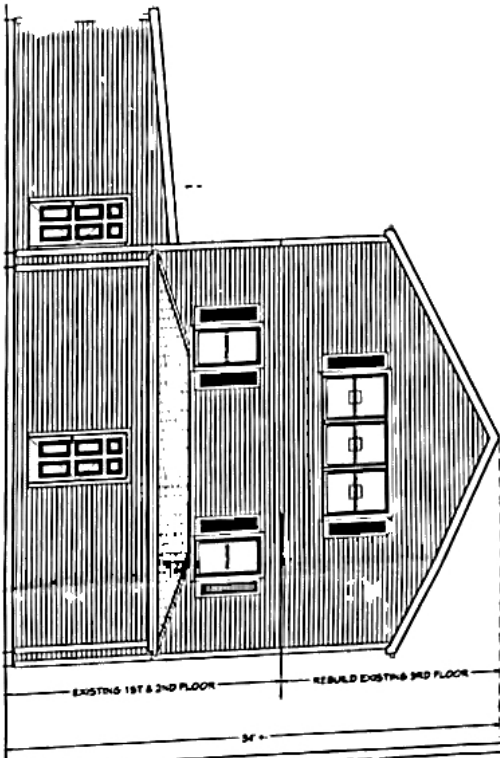
E2: PROPOSED SIDE ELEVATION
3/16"=1'-0"



E3: PROPOSED REAR ELEVATION
3/16"=1'-0"



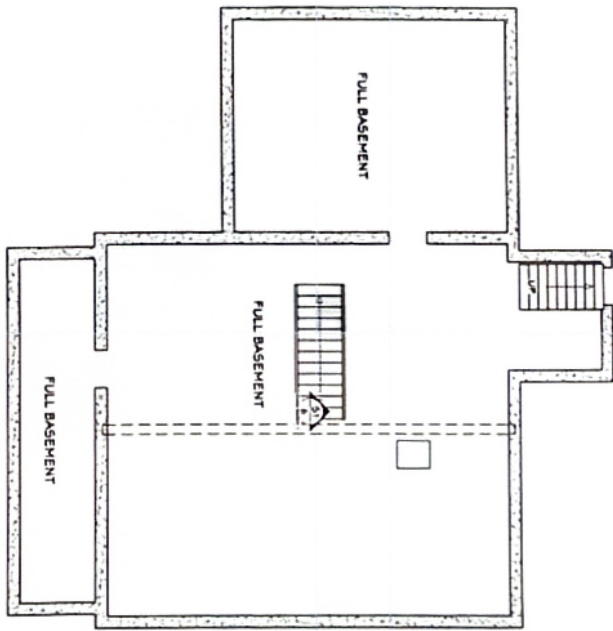
E3: PROPOSED SIDE ELEVATION
3/16"=1'-0"



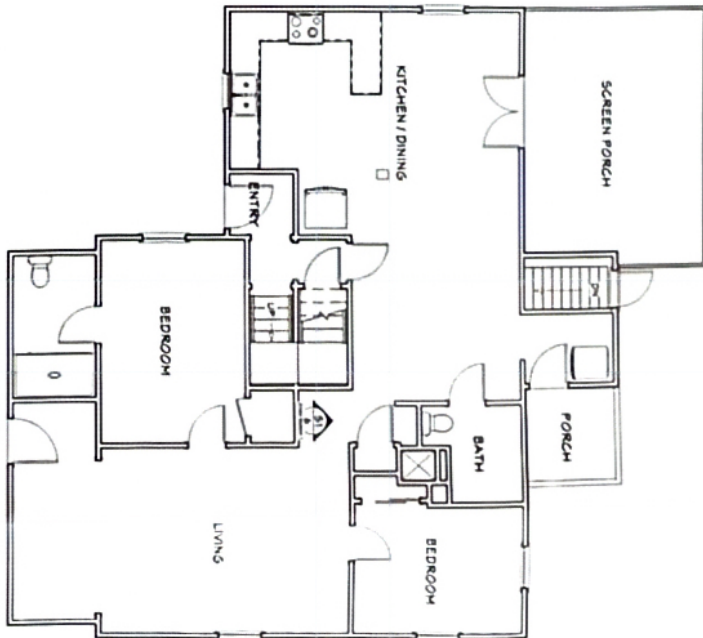
E1: PROPOSED FRONT ELEVATION
3/16"=1'-0"

*ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION

DATE: 6/19/2023	SCALE: AS NOTED	PROJECT: 217	<p>STAFF & POOL DESIGN</p> <p>ARCHITECTURAL</p> <p>3000 W. 10TH AVE</p> <p>MINNEAPOLIS, MN 55425</p> <p>TEL: 612.338.1111</p> <p>WWW.STAFFANDPOOLDESIGN.COM</p>
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EXISTING BASEMENT FLOOR PLAN
3/16"=1'-0"



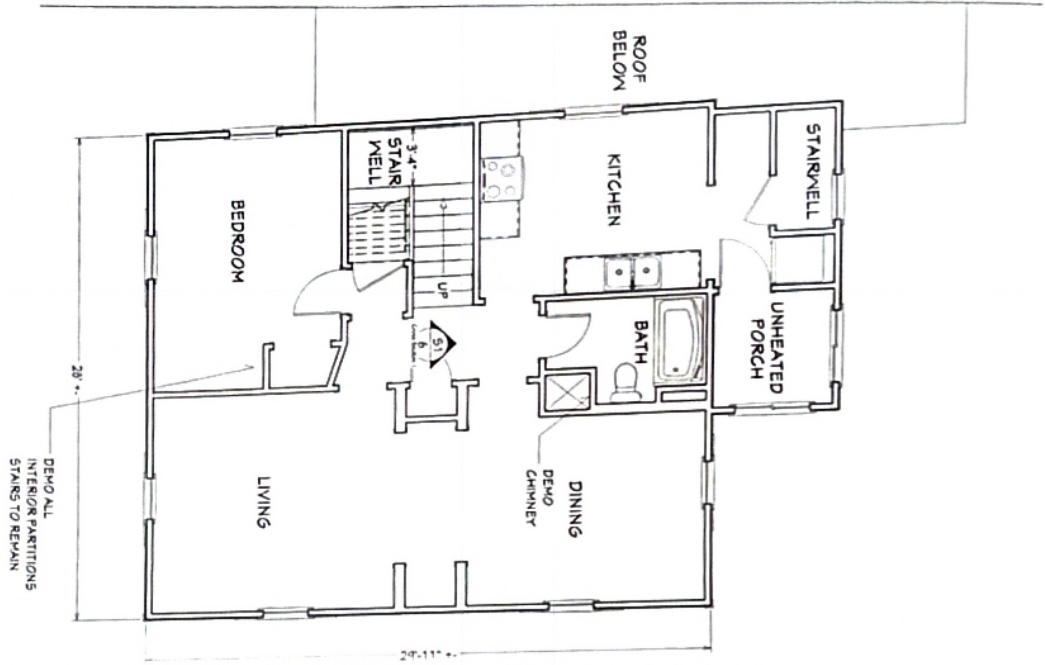
EXISTING 1ST FLOOR PLAN
3/16"=1'-0"

EXISTING WALL
 NEW WALL
 *ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION

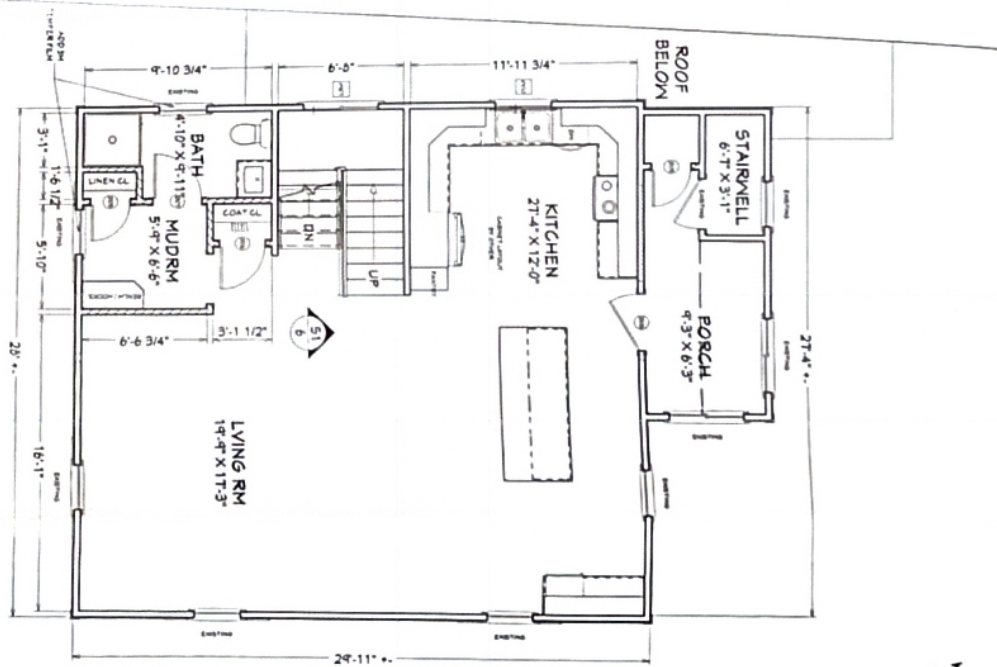
DATE	6/19/2023
PROJECT NAME	
SCALE	AS NOTED
DATE	3/17
ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION	

MARGEN WORKER DESIGN
 ARCHITECTURE
 1000 W. 10TH ST.
 SUITE 100
 DENVER, CO 80202

MARGEN WORKER DESIGN
 ARCHITECTURE
 1000 W. 10TH ST.
 SUITE 100
 DENVER, CO 80202



EXISTING 2ND FLOOR PLAN
1/4" = 1'-0"

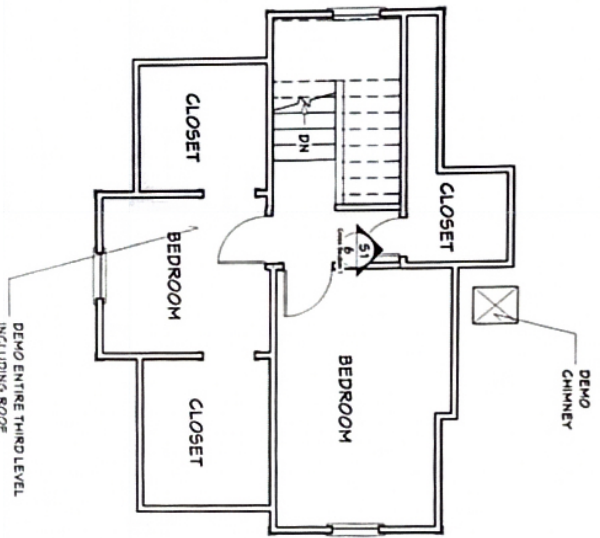


PROPOSED 2ND FLOOR PLAN
1/4" = 1'-0"

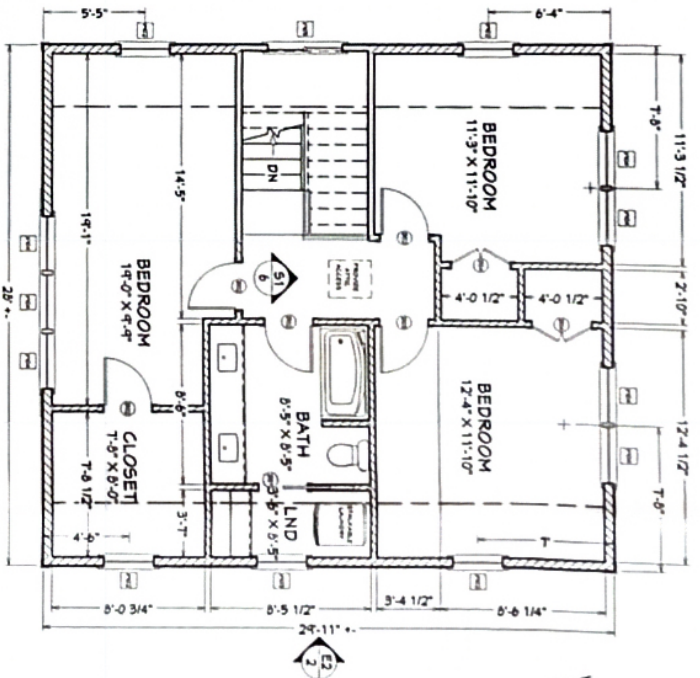
EXISTING WALL
NEW WALL

ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION

<p>EXPIRATION</p>	<p>PROJECT NUMBER</p> <p>417</p>
<p>DATE</p> <p>AS NOTED</p>	<p>DATE</p> <p>6/19/2023</p>
<p>DESIGNER</p> <p>REBECCA PEOPLE DESIGN</p> <p>REBECCA PEOPLE ARCHITECTS</p> <p>308 S. 11th St. S.W. Tulsa, Oklahoma 74106</p>	<p>DATE</p> <p>6/19/2023</p>
<p>PROJECT NAME</p>	<p>DATE</p> <p>6/19/2023</p>
<p>SCALE</p> <p>AS NOTED</p>	<p>DATE</p> <p>6/19/2023</p>



EXISTING 3RD FLOOR PLAN
1/4"=1'-0"



PROPOSED 3RD FLOOR PLAN
1/4"=1'-0"

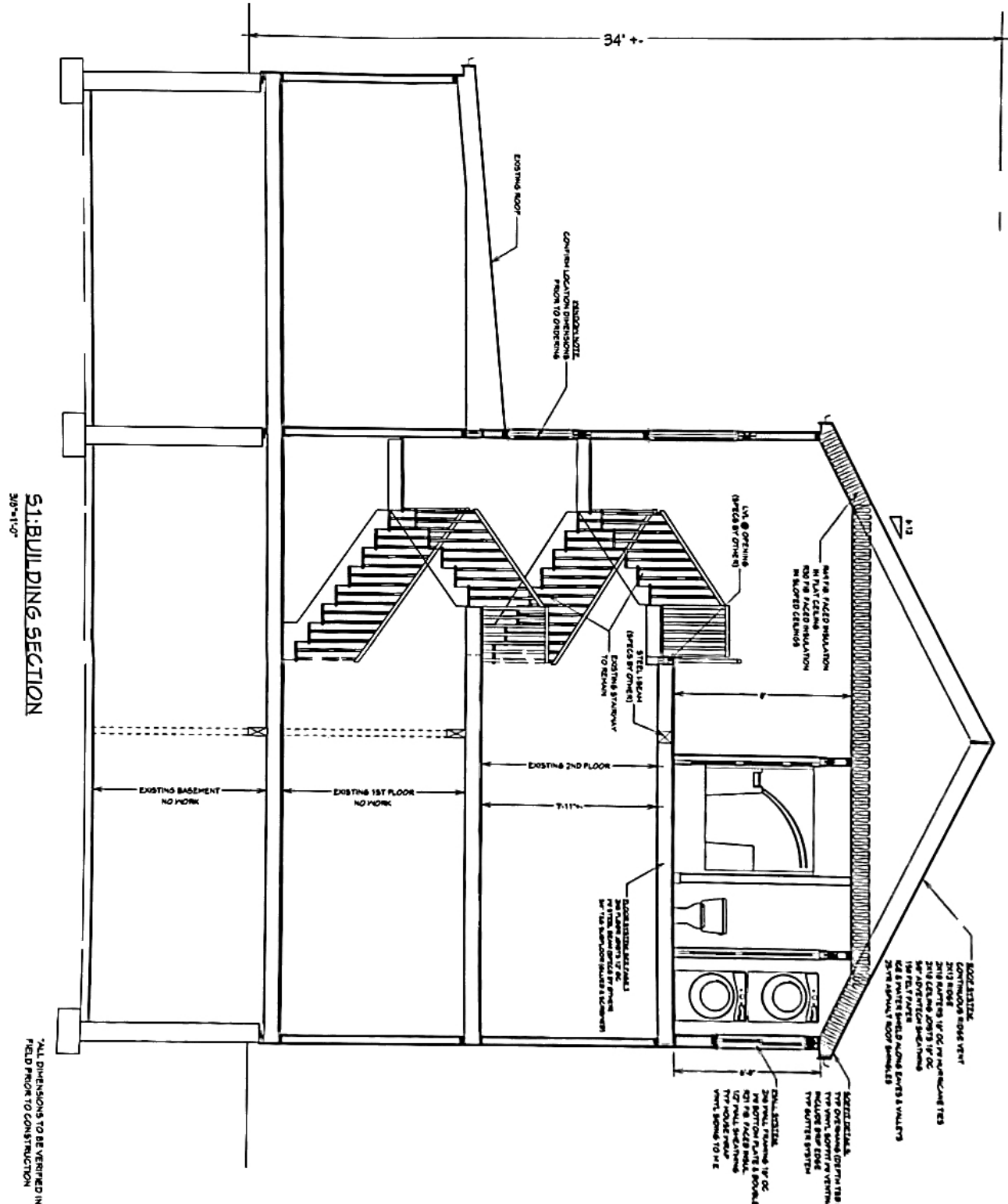
Number	Label	Qty	Floor	Size	Wdm	Hght	ROD	GENERIC WINDOW SCHEDULE (SEE MANUF. SPECS FOR W/VE DETAILS)	EDGES	TEMPERED	RES. STAIN	Code	MANUFACTURER COMMENTS
N01	40211RS	1	2	40211RS	30"	152"	33X25"	Single Hung	2X10X4.5 (1)		1.30	TOP OF WINDOW AT 7' FROM SUBFLOOR	
N02	4022M	4	3	4022M	30"	152"	33X25"	Double Hung	2X10X4.5 (1)	Yes	1.30	TOP OF WINDOW AT 7' FROM SUBFLOOR	
N03	3046DM	1	3	3046DM	36"	156"	48X36"	Double Hung	2X10X4.5 (1)		1.30	TOP OF WINDOW AT 7' FROM SUBFLOOR	
N04	4040RS	1	3	4040RS	48"	148"	48X36"	Double Hung	2X10X4.5 (1)		1.30	TOP OF WINDOW AT 7' FROM SUBFLOOR	
N10	3032DM	1	2	3032DM	36"	135"	37X37"	Right Sliding	2X10X4.5 (1)		1.30		

Number	Label	Qty	Floor	Size	Wdm	Hght	ROD	GENERIC DOOR SCHEDULE (SEE MANUF. SPECS FOR W/VE DETAILS)	DESCRIPTION	HEADER	THICKNESS	Code	MANUFACTURER COMMENTS
D01	2663 L	3	2	2663 L	30"	67"	61.14X62.17"	Pocket Door Pkg	Hinged Door Pkg	2X6X95 (1)	1.30		
D02	2663 L	3	2	2663 L	30"	67"	37X63.17"	Pocket Door Pkg	Hinged Door Pkg	2X6X95 (1)	1.30		
D03	2663 L	3	2	2663 L	30"	67"	37X63.17"	Pocket Door Pkg	Hinged Door Pkg	2X6X95 (1)	1.30		
D04	2663 L	3	2	2663 L	30"	67"	37X63.17"	Pocket Door Pkg	Hinged Door Pkg	2X6X95 (1)	1.30		
D05	2663 L	3	2	2663 L	30"	67"	37X63.17"	Pocket Door Pkg	Hinged Door Pkg	2X6X95 (1)	1.30		
D06	2663 L	3	2	2663 L	30"	67"	37X63.17"	Pocket Door Pkg	Hinged Door Pkg	2X6X95 (1)	1.30		
D07	2663 L	3	2	2663 L	30"	67"	37X63.17"	Pocket Door Pkg	Hinged Door Pkg	2X6X95 (1)	1.30		
D08	2663 L	3	2	2663 L	30"	67"	37X63.17"	Pocket Door Pkg	Hinged Door Pkg	2X6X95 (1)	1.30		
D09	2663 L	3	2	2663 L	30"	67"	37X63.17"	Pocket Door Pkg	Hinged Door Pkg	2X6X95 (1)	1.30		

EXISTING WALL
NEW WALL

ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION

REGISTRATION 	REINCEY/RODILE DESIGN ARCHITECTS 100441 3114 100441 3114 100441 3114	MAIN FLOOR 100441 3114 100441 3114 100441 3114	DATE 6/19/2023	SHEET NUMBER 5 / 7
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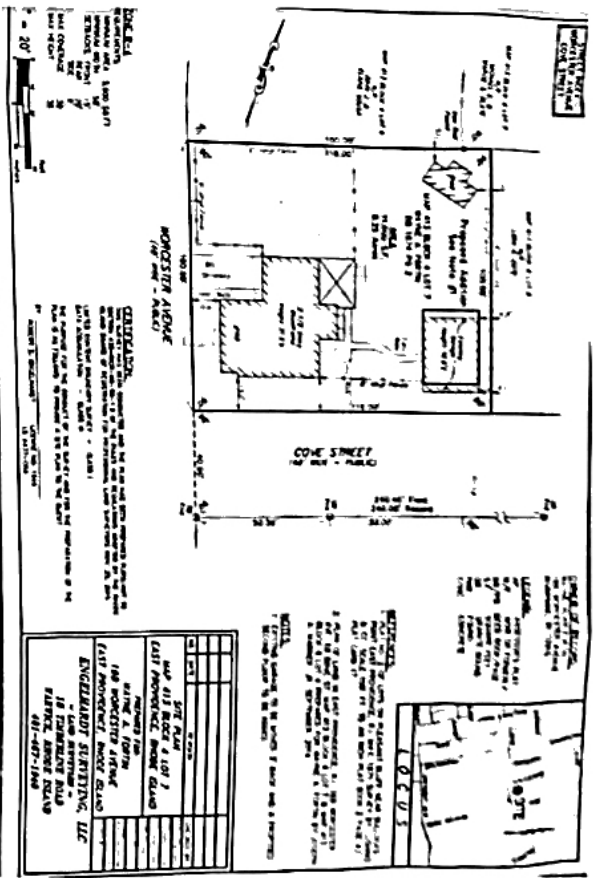
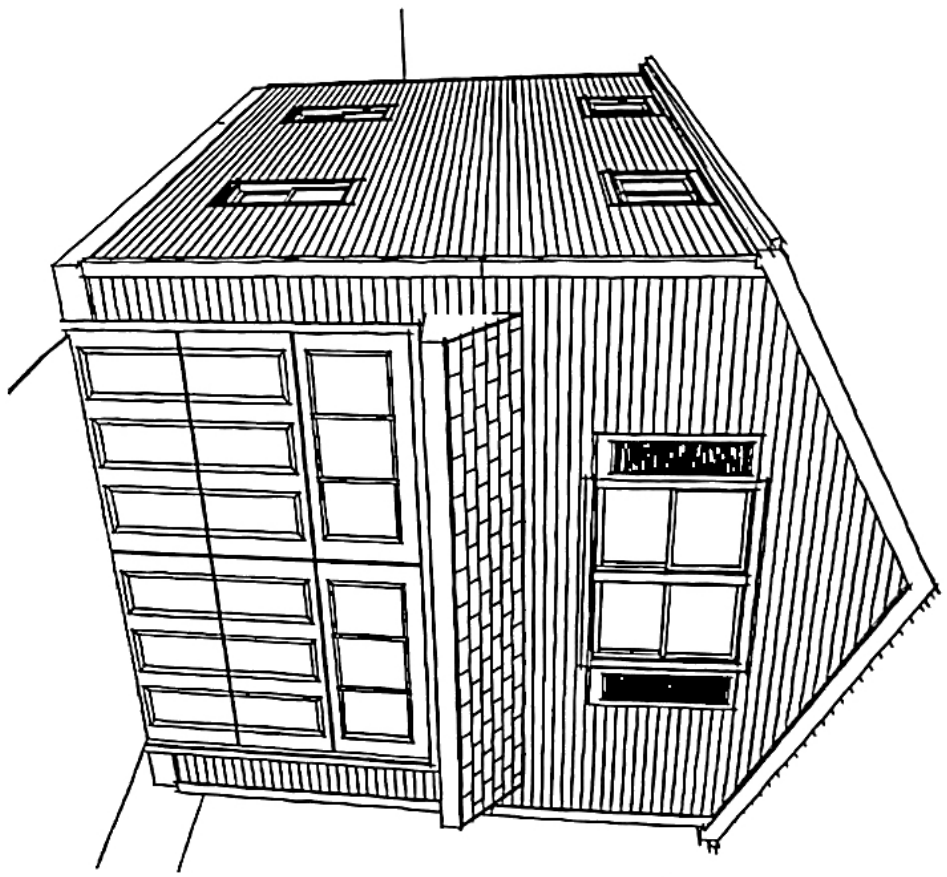


S1: BUILDING SECTION
3/8"=1'-0"

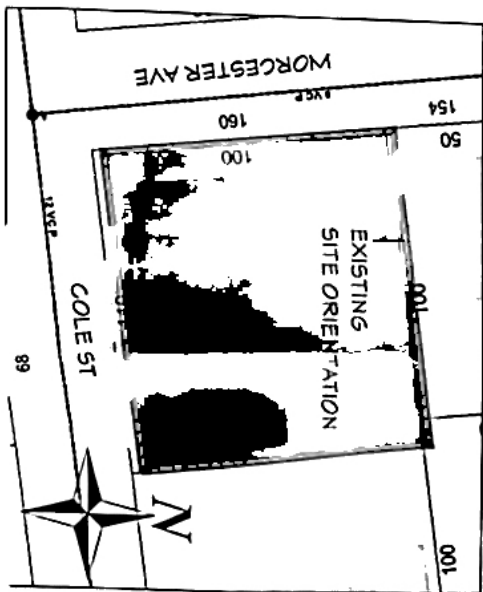
ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION

<p>RENEGA PEOPLE DESIGN</p>	
DATE:	6/19/2023
SCALE:	AS NOTED
PROJECT NUMBER:	617

FORTIN RESIDENCE
 REPLACE EXISTING GARAGE
 160 WORCESTER AVE
 RIVERSIDE, RI 02915

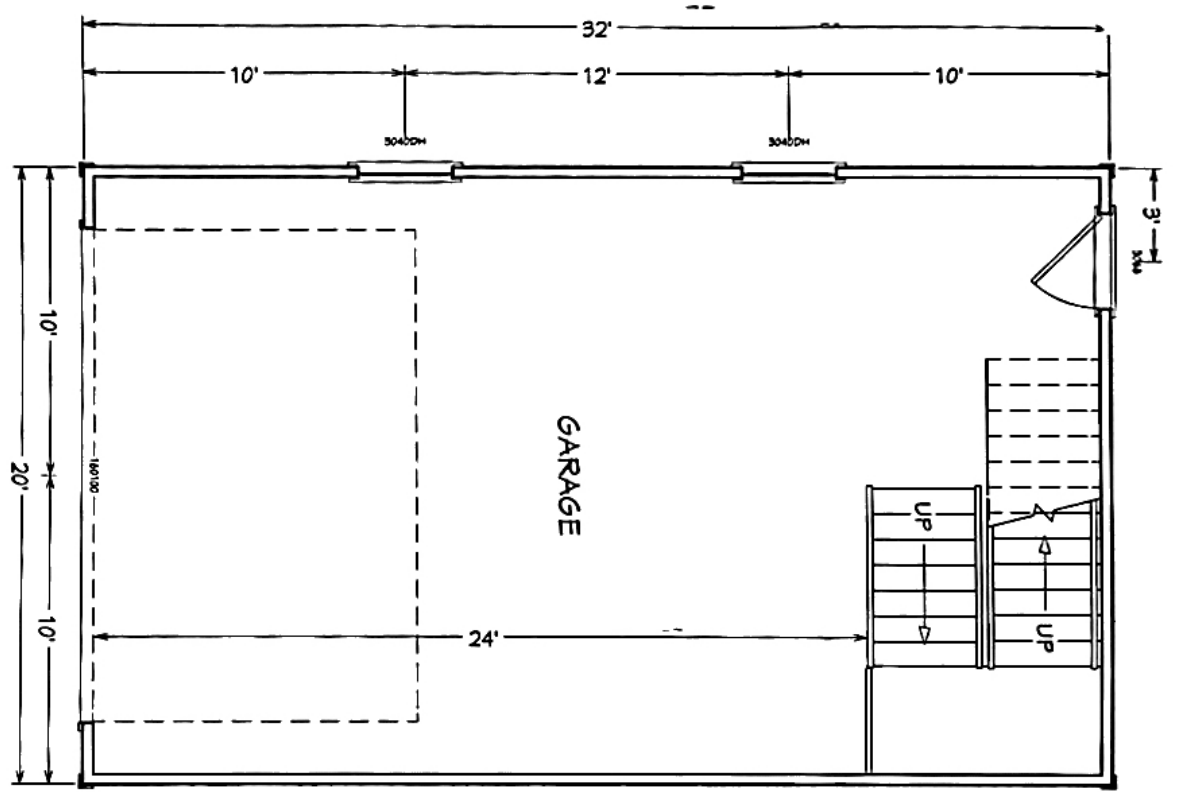


SEE SITE PLAN BY OTHER (ATTACHED)

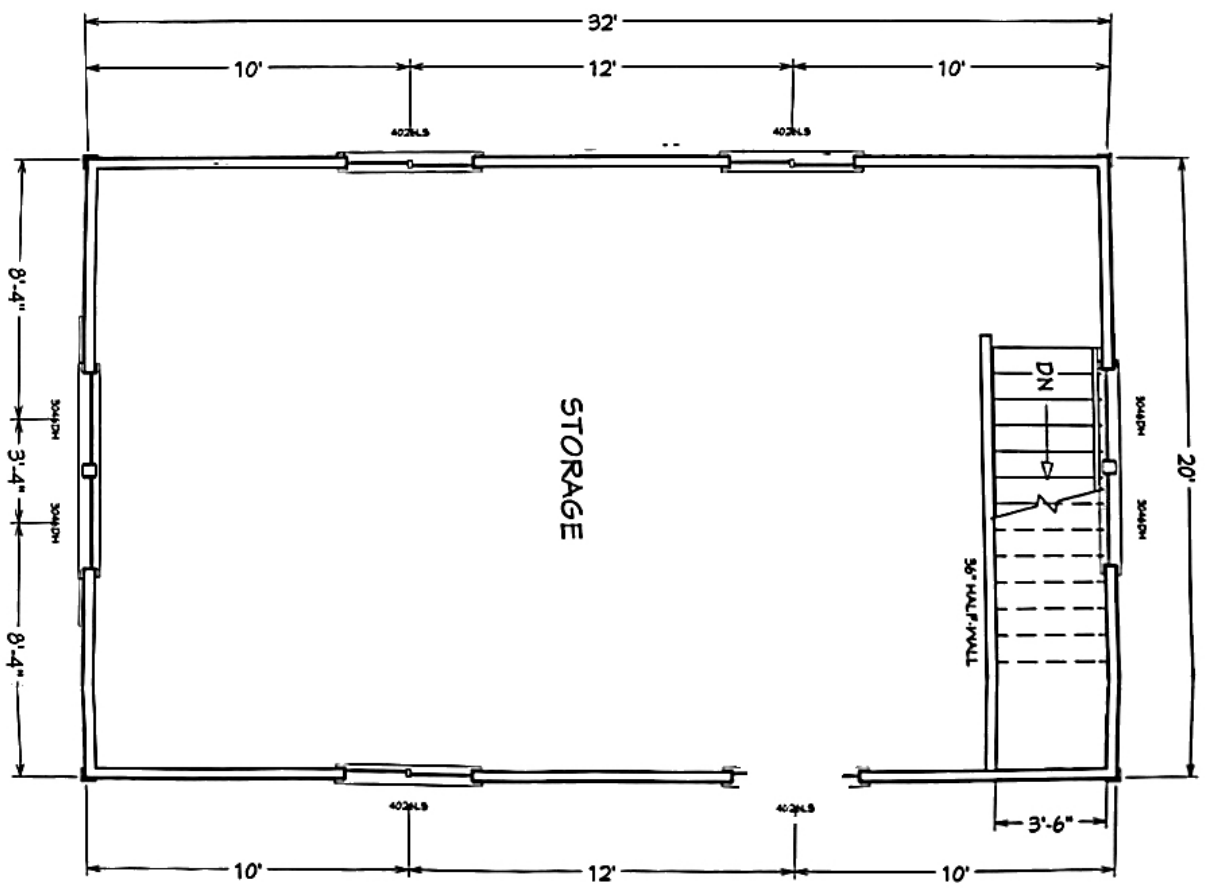


CERTIFICATION: 	REBECCA POOLE DESIGN REBECCA POOLE NCIDQ 36430 508 641 2816 rpoole@rdm.com	JOB INFORMATION: WAYNE FORTIN 160 WORCESTER AVE RIVERSIDE, RI 02915	DATE: 8/25/2023	SHEET NAME: PROPOSED	SCALE: 	SHEET NUMBER: 1 / 3
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FIRST FLOOR

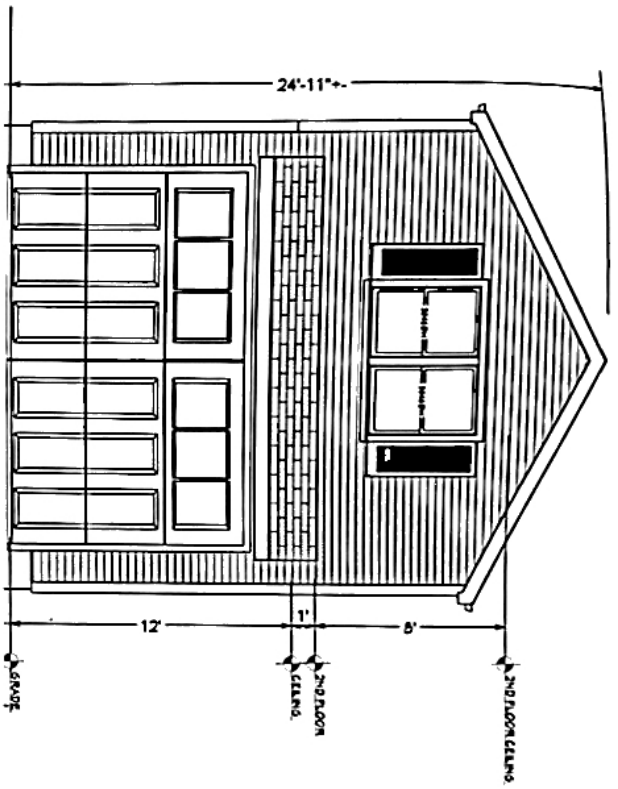


SECOND FLOOR

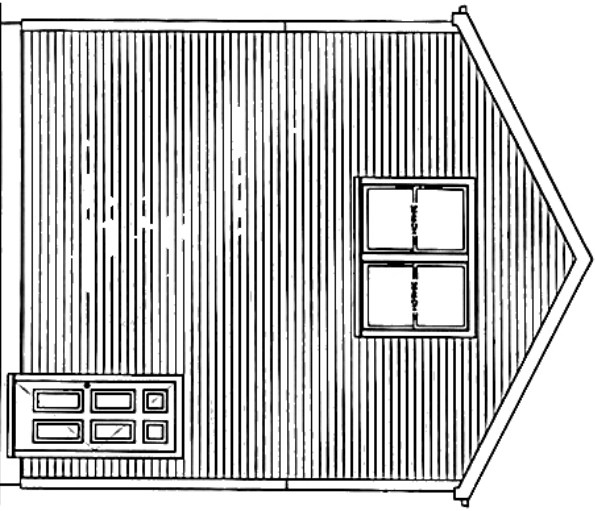


*ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION

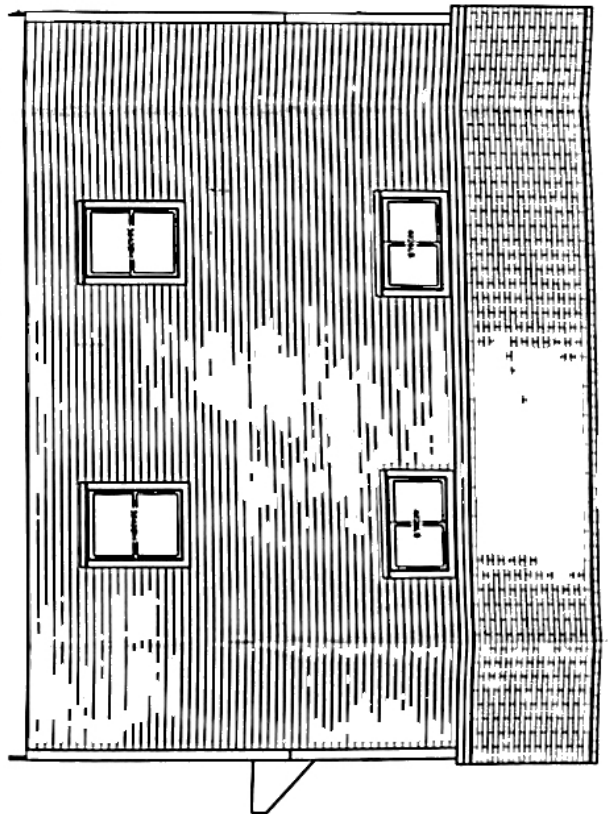
<p>IDENTIFICATION:</p>	<p><i>Rebecca</i> REBECCA POOLE DESIGN REBECCA POOLE NCIDQ 36250 508 6412816 rpoole82@gmail.com</p>	<p>JOB INFORMATION: WAYNE FORTIN 160 WORCESTER AVE RIVERSIDE, NJ 02915</p>	<p>DATE: 8/25/2023</p>	<p>SHEET NAME: FLOOR PLANS</p>	<p>SCALE: 1/4" = 1'-0"</p>	<p>SHEET NUMBER: 2 / 3</p>
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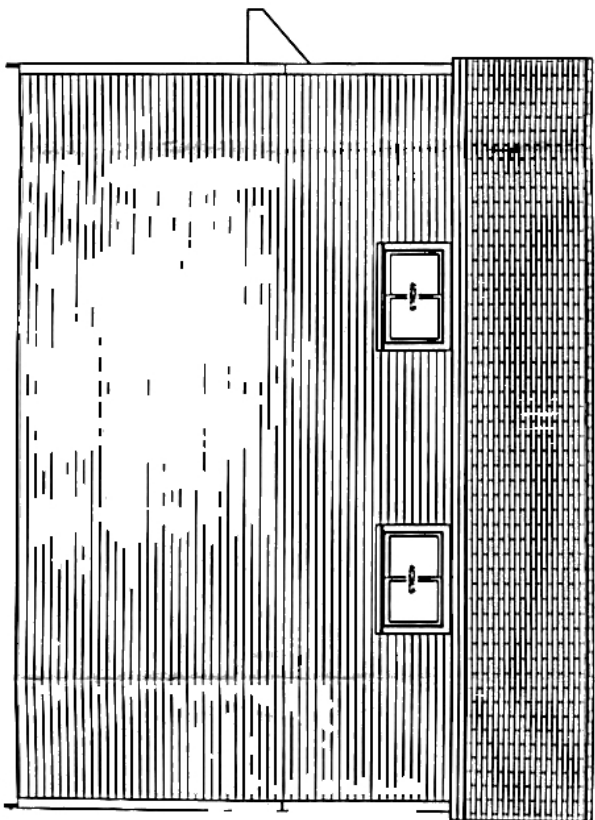
E1: FRONT ELEVATION



E3: REAR ELEVATION



E2: SIDE ELEVATION



E4: SIDE ELEVATION

ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION

VERIFICATION:

RP
REBECCA POOLE
DESIGN

REBECCA POOLE
NCIDQ, 36150

508.641.3816

rpoole82@gmail.com

JOB INFORMATION:

WAYNE FORTIN
160 WORCESTER AVE
RIVERSIDE, NJ 07915

DATE:
8/25/2023

SHEET NAME:
ELEVATIONS

SCALE:
3/16"=1'-0"

SHEET NUMBER:

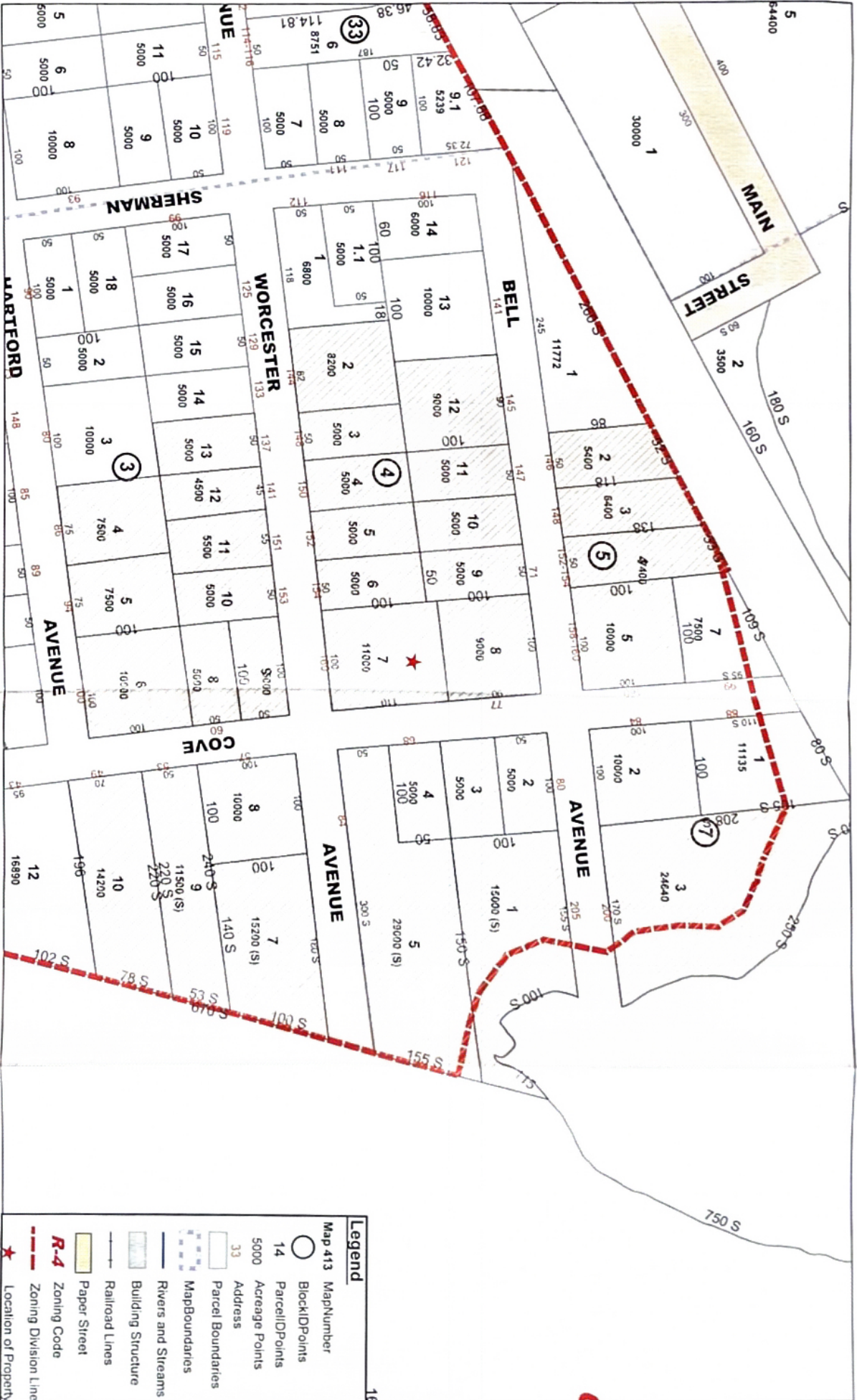
3 / 3



200' RADIUS MAP

160 Worcester Ave
413-47

Date: 8/24/2023 SCALE=N T S



Legend

- Map 413 MapNumber
- BlockID/Points
- ParcelID/Points
- 14 Acreage Points
- 5000
- 33 Address
- Parcel Boundaries
- MapBoundaries
- Rivers and Streams
- Building Structure
- Railroad Lines
- Paper Street
- R-4 Zoning Code
- Zoning Division Line
- Location of Property

ABUTTERS LIST
160 WORCESTER RD
413-4-7

PARCEL ID	OWNERS NAME	OWNERS ADDRESS	CITY, STATE, ZIP CODE	LOCATION
413-03-004.00	BELLAMY,FRANK R JR& VIRGINIA L	88 HARTFORD AVE	RIVERSIDE, RI 02915	88 HARTFORD AVE
413-03-005.00	RODYN, DONNA J	94 HARTFORD AVE	RIVERSIDE, RI 02915	94 HARTFORD AVE
413-03-006.00	WINTHROP, RUSSELL F & SUZANNE	100 HARTFORD AVE	RIVERSIDE, RI 02915	100 HARTFORD AVE
413-03-008.00	ACQUAVIVA, MAURO R & DEBRA L	60 COVE ST	RIVERSIDE, RI 02915	60 COVE ST
413-03-009.00	PRISTINE PROPERTIES OF RIVERSIDE LLC	134 PINECREST DR	RIVERSIDE, RI 02915	157 WORCESTER AVE
413-03-010.00	CHECRALLAH, STEVEN J	153 WORCESTER AVE	RIVERSIDE, RI 02915	153 WORCESTER AVE
413-03-011.00	SIMOES, JOSEPH LIFE ESTATE	119 SPRING ST	REHOBOTH, MA 02769	151 WORCESTER AVE
413-03-012.00	ADAMS, DONNA L/RI HOUSING	141 WORCESTER AVE	RIVERSIDE, RI 02915	141 WORCESTER AVE
413-03-013.00	GIBBS, CHERYL A	PO BOX 15253	RIVERSIDE, RI 02915	137 WORCESTER AVE
413-04-002.00	JENKINS, CURTIS & ELENA	144 WORCESTER AVE	RIVERSIDE, RI 02915	144 WORCESTER AVE
413-04-003.00	ORMONDE-PATTERSON, CASSANDRA A &	148 WORCESTER AVE	RIVERSIDE, RI 02915	148 WORCESTER AVE
413-04-004.00	PAGANO, JEFFREY & KARN, SARAH	150 WORCESTER AVE	RIVERSIDE, RI 02915	150 WORCESTER AVE
413-04-005.00	MILLER, STEVEN E & ADRIANA M	152 WORCESTER AVE	RIVERSIDE, RI 02915	152 WORCESTER AVE
413-04-006.00	SOUSA, JOHN J. & ELAINE	154 WORCESTER AVENUE	RIVERSIDE, RI 02915	154 WORCESTER AVE
413-04-007.00	FORTIN, WAYNE A	160 WORCESTER AVE	RIVERSIDE, RI 02915	160 WORCESTER AVE
413-04-008.00	TREE OF LIFE LLC C/O JOHN S CORVESE	34 CHICORY LN	CRANSTON, RI 02921	77-79 COVE ST
413-04-009.00	DEMOTTE, MICHAEL & MACHADO, NANCY	71 BELL AVE	RIVERSIDE, RI 02915	71 BELL AVE
413-04-010.00	SEROWIK, EDWARD S	147 BELL AVE	RIVERSIDE, RI 02915	0 BELL AVE
413-04-011.00	SEROWIK, EDWARD S	147 BELL AVE	RIVERSIDE, RI 02915	147 BELL AVE
413-04-012.00	MELLO, MARY L	145 BELL AVE	RIVERSIDE, RI 02915	145 BELL AVE
413-05-002.00	BROWN, CHARLES G	146 BELL AVE	RIVERSIDE, RI 02915	146 BELL AVE
413-05-003.00	LOPES, LOUIS A LIFE ESTATE	148 BELL AVE	RIVERSIDE, RI 02915	148 BELL AVE
413-05-004.00	COSTA, RICHARD A & CATHERINE R	64 WATER ST	REHOBOTH, MA 02769	152-154 BELL AVE
413-05-005.00	AMARAL, NICOLE A & TIMOTHY	158 BELL AVE	RIVERSIDE, RI 02915	158-160 BELL AVE
413-07-002.00	BRETANHA, BRAD & BRIAN	86 COVE ST	RIVERSIDE, RI 02915	84-86 COVE ST
413-07-003.00	CHIN, DANIEL J & ERIC J & SANITA	194 BLUFF AVE	SWANSEA, MA 02777	200 BELL AVE
413-08-001.00	LIVING IN FULFILLING ENVIRONMENTS	490 METACOM AVE	BRISTOL, RI 02809	205 BELL AVE
413-08-002.00	SILVA, DENNIS J & MARY JANE	80 COVE ST	RIVERSIDE, RI 02915	80 COVE ST
413-08-003.00	SILVA, DENNIS J & MARY JANE	80 COVE ST	RIVERSIDE, RI 02915	0 COVE ST
413-08-004.00	FORTIN, WAYNE A	160 WORCESTER AVE	RIVERSIDE, RI 02915	68-70 COVE ST